

Section 705 – Landscaping Percentage Requirements

A minimum of 20% of the total property between the street and front of the principal building, plus the side yard if located on a corner lot, shall be landscaped or kept in a natural state. Street yards, screening, and landscaping installed in parking lots shall count towards this 20% requirement.

A minimum of one Class I or Class II shade tree shall be planted for every 3,500 square feet of the gross front yard and side yard area, or part thereof.

A variance request was approved to reduce the overall landscaping percentage from 20% down to 12% as shown. The landscaping shown on the previous site plan appeared to meet this requirement, the proposed alternative landscaping appears that it will not meet this requirement.

Section 711.B states the following:

“Any site plan submitted without the required landscaping elements shall be considered incomplete and shall not be approved. A verbal or written commitment from the developer to install landscaping will not be accepted for any conditional or interim approval; the landscaping plan must be presented to and voted on by the planning commission.”

Chapter 10 – Site Plan Requirements

A site plan shall be required for all commercial, multifamily, industrial, public, and semi-public developments and redevelopments in the Town of Montecagle. Depending on the nature or intensity of the proposed land use, or when there is uncertainty as to building setbacks, easements, property lines, or utility locations, the enforcement officer or planning commission may require that a site plan be prepared and stamped by a licensed engineer, surveyor, or architect.

It shall be unlawful for any person to construct, erect, or alter any building or structure, or to develop, change, or improve land except in accordance with the approved final site plan.

No permit shall be issued to erect or alter any building or structure until a site plan has been submitted and approved in accordance with this ordinance.

On the day of the planning commission meeting, the applicant or his representative shall bring five copies of the revised site plan, or more if requested by planning staff.

The planning commission shall review the site plan for compliance with all applicable requirements of this ordinance. During its review, the planning commission may request recommendations from planning staff, the enforcement officer, and other appropriate officials.

The Planning Commission may take the following actions on site plans: Approve, Conditionally Approve, Refer to the BZA, Table or Deny.

Note that if the Planning Commission decides to Table a site plan, it may not be revised. If a site plan requires revisions, it is suggested that the applicant withdraw the site plan and resubmit.

Site plans shall contain the following components and information, as applicable. The planning commission may require missing items be added or other corrections made as a condition for approval.

- A. Name, address, and contact information of the owner of record and the applicant.
 - a. **This requirement is met.**
- B. Name, contact information, and original stamp of the licensed engineer, surveyor, or architect who prepared the site plan.
 - a. **This requirement is met.**
- C. Name of the development and physical address of the site.
 - a. **This requirement is met.**
- D. Tax map and parcel ID number of the property to be developed.
 - a. **This requirement is not met.**
- E. 24-hour contact information for the responsible project manager.
 - a. **This requirement is met.**
- F. Current zoning of the site and all abutting properties.
 - a. **This requirement is not met.**
 - i. **Site and abutting properties do not have the correct current zoning labelled. (C-3)**
- G. Date, graphic scale, and north point.
 - a. **This requirement is met.**
- H. Courses and distances of all property lines and street centerlines.
 - a. **This requirement is met.**
- I. All property setback lines, easements, covenants, reservations and rights-of-way.
 - a. **This requirement is needs corrections.**
 - i. **Building setbacks are incorrect for C-3 zoning.**
- J. The area of site in acreage or square feet and the total calculated area of land disturbance.
 - a. **This requirement is met.**
- K. Topography of existing ground and paved areas and elevations of streets, alleys, utilities, buildings, and structures. When required by the planning commission, 5-foot contours shall be shown.
 - a. **This requirement is met.**
- L. Floodplain limits and natural and artificial watercourses. If the property is in a floodplain, elevations for all structures shall be included.
 - a. *Not applicable*
- M. Existing and proposed sidewalks, streets, alleys, easements, and utilities.
 - a. **This requirement needs further clarification.**
 - i. **Do either the overhead electricity line or existing storm drain require an easement for maintenance?**
- N. Existing and proposed buildings and structures, including signs.
 - a. **This requirement is met.**
- O. Existing and proposed public sewer systems with line sizes noted.
 - a. **This requirement is met.**
- P. Existing and proposed water mains with line sizes and fire hydrant locations noted.
 - a. **This requirement is met.**
- Q. Plans for collecting stormwater and methods of treatment.
 - a. **This requirement needs further clarification.**
 - i. **Is the 32"x32" catch basin collecting all stormwater for the property?**

monteagleinfo@blomand.net

From: Mayor Rodman <rodmanmayor@benlomand.net>
Sent: Tuesday, July 13, 2021 1:45 PM
To: monteagleinfo; iva
Subject: Fwd: Alternate Landscape plan

From: "ghaynes" <ghaynes@sdev.org>
To: "Mayor Rodman" <rodmanmayor@benlomand.net>, "egeary" <egeary@townofkimball.com>
Cc: "Sam Elliott" <sellott@gearhiserpeters.com>
Sent: Friday, July 9, 2021 2:07:44 PM
Subject: FW: Alternate Landscape plan

I just spoke with Cristian about this and it sounds like he's abandoning the alternative landscaping plan with planters and will be putting in landscaping per his previous site plan.

He told me that this is not a junk yard and there will not be any "damaged, wrecked, undriveable, inoperable or salvage vehicles used for parts" on the property and that his sole intent for the fence is security. He said that his second building is not insured to allow walk in customers looking for the office.

To which I told him that if he installed a "security fence" with the appropriate landscaped screening on the exterior he would be in compliance with the zoning ordinance. I told him again that if there are any of the aforementioned vehicles on the property that a screening fence will be required and that this would be up to the Town's judgement.

It's worth noting that Cristian confirmed that the fence is being built directly on the property line, which makes the street yard and landscaping within the ROW.

One other item to note is that the site plan shows a 5' street yard which was not approved by the BZA. I told Cristian again that this reduction in street yard was not approved and needed to be the required 10' street yard located **wholly** on his property **and not within the ROW**.

He seemed to understand everything I was telling him even though he wanted to request variances *again* for the street yard and landscaping. I discouraged him from doing so as it would not meet *any* of the criteria for a variance.

I hate to keep piling on violations but it looks like he may be violating section 713 of the ordinance as well:

Applicants have 6 months from the date of the final building inspection to install all landscaping required by this ordinance. The purpose of this 6-month period is to enable the applicant to plant and install landscaping during the regular planting season, when conditions are optimal for plant health and vitality.

In cases of extreme drought or other unusual weather conditions, applicants may request an extension from the planning commission for an additional 6 months. Such request should be submitted at least 30 days before the expiration of the 6-month period. Financial hardship shall not be the basis for any extension.

In the event the required landscaping is not installed within 6 months and no extension has been granted, the owner shall be considered in violation of this ordinance and subject to penalties in accordance with Section 1209.

Garrett Haynes

Regional Planner

Southeast Tennessee Development District

1000 Riverfront Parkway

Chattanooga, TN 37402

O : 423.424.4245 | M: 423.827.3733 | W: SEDEV.ORG

From: Garrett Haynes

Sent: Friday, July 9, 2021 1:03 PM

To: Lakeside Collision <lakesidecollision00@gmail.com>

Cc: John Childers <john@childerslandsurveying.com>; Earl Geary <egeary@townofkimball.com>

Subject: RE: Alternate Landscape plan

Mr. Ojeda,

Please see the attached review for this site plan.

Due to COVID, SETDD staff reviewed material via markup on a pdf last year as it was quicker and easier for us while working from home. Prior to COVID we issued a memo for reviewing plats, site plans, rezoning requests, etc. to analyze our findings, much like this one.

Now that we're back in the office, I thought that it would be beneficial for the Planning Commission to have a written review of the site plan detailing relevant information that was discussed and reviewed last year. I also re-reviewed your site plan to make sure I covered everything.

There are a few items that require attention, mainly the screening fence, landscaping, and landscaped screening. These items need to be addressed before it can be reviewed by the Planning Commission in August.

I wanted to make sure I got this review back to you in time to work through the necessary revisions so that you're not held up by anything leading up to the August meeting.

Feel free to give me a call if you have any questions.

Thank you,

Garrett Haynes

Regional Planner

Southeast Tennessee Development District

1000 Riverfront Parkway

From: Lakeside Collision <lakesidecollision00@gmail.com>
Sent: Wednesday, July 7, 2021 11:17 AM
To: Garrett Haynes <ghaynes@sedev.org>
Subject: Alternate Landscape plan

Good morning Garrate, attached is the site plan. Thanks

----- Forwarded message -----

From: John Childers <john@childerslandsurveying.com>
Date: Tue, Jul 6, 2021 at 4:32 PM
Subject: RE: Landscape plan
To: Lakeside Collision <lakesidecollision00@gmail.com>

Attached is the revised site plan showing the 6 wooden planters and notes in red.
Is this correct?

John L. Childers, P.E., R.L.S.
Childers' Land Surveying, PLLC
1604 Flat Branch Road
Tracy City, TN 37387
Office 931-592-2714
Mob. 931-636-9508
Fax 931-592-2713
Email john@childerslandsurveying.com

From: Lakeside Collision <lakesidecollision00@gmail.com>
Sent: Tuesday, June 29, 2021 4:13 PM
To: John Childers <john@childerslandsurveying.com>
Subject: Landscape plan

Landscape plan: One single row of 6 Wooden plant boxes with 12 3 Gallon knockout roses

Rosa 'Knock Out', is a shrub rose cultivar bred by American rose grower, William Radler in 1989, and introduced into the United States by Star Roses and Plants in 2000. It was named an All-America Rose Selections winner in 2000

Wooden Boxes Descriptio: 12" tall by 12" Deep by 40" long

John this is what I am wanting to propose to them. Please let me know if you need more information. Thank you!

From: Mayor Rodman rodmanmayor@benlomand.net
Subject: Fwd: Site Plan Approval - Southern Tire Mart at Pilot
Date: Jul 13, 2021 at 1:43:20 PM
To: monteagleinfo@blomand.net

From: "ghaynes" <ghaynes@sedev.org>
To: "Cooper, Cameron" <Cameron.Cooper@kimley-horn.com>
Cc: "Sidwell, Justin" <Justin.Sidwell@kimley-horn.com>
Sent: Monday, July 12, 2021 10:51:57 AM
Subject: RE: Site Plan Approval - Southern Tire Mart at Pilot

That seems like an acceptable alternative.

If you can send me a revised site plan I'll put it on the August 3rd Planning Commission agenda for review.

Garrett Haynes
Regional Planner
[Southeast Tennessee Development District](#)
1000 Riverfront Parkway
Chattanooga, TN 37402
O : [423.424.4245](tel:423.424.4245) | M: [423.827.3733](tel:423.827.3733) | W: SEDEV.ORG

From: Cooper, Cameron <Cameron.Cooper@kimley-horn.com>
Sent: Monday, July 12, 2021 11:43 AM
To: Garrett Haynes <ghaynes@sedev.org>
Cc: Sidwell, Justin <Justin.Sidwell@kimley-horn.com>
Subject: Site Plan Approval - Southern Tire Mart at Pilot

Hey Garrett,

The ownership at Pilot is not willing to close off the access drive from Trussell to the east of the property with the landscape screen as required in the conditional approval. The rationale is that the drive is their only viable access to the undeveloped portion of the property based on the grade change of the developed portion of the site. They have asked if a sliding gate behind the landscape screen could suffice as an alternative solution. This solution would restrict access to non-Pilot personnel, addressing the concerns of the board, and allow Pilot to have access to that portion of the property for maintenance.

How do we proceed toward approval while keeping access to that portion of the property. Would an access gate suffice? What are our next steps?

Thank you,

Cameron Cooper PLA, AICP

Monteagle Regional Planning Commission
Tuesday July 6th, 2021, 6:00pm CST

Town Hall
24 Dixie Lee Avenue
Monteagle, TN 37356

Agenda

- Iva Michelle Russell, Chairman
- Richard Black, Vice-Chairman
- Janet Miller-Schmidt, Secretary

- Mary Jane Flowers Dorraine Parmley
- Peter Beasley Marilyn Rodman, Mayor

- I. Call to Order**
- II. Approval of Previous Meeting Minutes**
 - A. June 1st, 2021
- III. Staff and Community Reports**
 - A. Staff-approved plat report (None)
 - B. Building Inspector's report
- IV. Old Business**
 - A. Any Properly Presented Old Business
- V. New Business**
 - A. Zoning Ordinance Amendment
 - a. Section 1105 – Non-Conforming Uses
 - B. Southern Tire Mart at Pilot Flying J – Site Plan (Kimley-Horn)
 - C. Petro Development – Site Plan (RBT)
 - D. Any properly presented new business.
- VI. Adjournment**

Next Regularly Scheduled Meeting: August 3rd, 2021

Garrett Haynes

From: Garrett Haynes
Sent: Tuesday, June 29, 2021 10:41 AM
To: Cooper, Cameron
Subject: RE: Southern Tire Mart at Pilot - Monteagle TN Site Plan Review
Attachments: Southern Tire Mart - Revised SP.pdf

One item I would like addressed is from Section 705 of the Zoning Ordinance.

Can you show that the site plan meets the minimum landscaped area being 20% of the total property (leased area)? The street yard may be counted towards this percentage even though it's not technically within the leased area. The gravel mulch and Bermuda grass will not count towards this requirement as section 705 explicitly prohibits sod, grass, lawns, and gravel.

From this calculated 20%, 1 class I or II shade tree shall be planted for every 3,500 square feet. Please show that this requirement is met as well.

The following is also required:

- Sheet C2 (or other) still needs to have adjacent property zoning districts shown.
- Courses and distances of all property lines and street centerlines still need to be shown.
- The distance between buildings needs to be shown. (Southern Tire Mart and Pilot Building)
- Acreage in square feet and the total calculated area of land disturbance needs to be shown.
- Lot coverage in square feet and as a percentage of total tract area needs to be shown.

Let me know if you have any questions.

Thank you,

Garrett Haynes
Regional Planner
Southeast Tennessee Development District
1000 Riverfront Parkway
Chattanooga, TN 37402
O : 423.424.4245 | M: 423.827.3733 | W: SEDEV.ORG

CIVIL CONSTRUCTION PLANS FOR

MONTEAGLE SOUTHERN TIRE MART at PILOT FLYING J 640 DIXIE LEE AVE, MONTEAGLE MARION COUNTY, TN

PROJECT DEVELOPMENT TEAM

DEVELOPER:
TRAVEL CENTER REALTY, LLC
300 U.S. HWY 58
COLUMBIA, MS 39208
CONTACT: PERRY PHILLIPS
PHONE: (601) 421-3265

OWNER:
PILOT TRAVEL CENTER
KNOXVILLE, TN 37956
CONTACT: BRAD LASHLEY
PHONE: (615) 441-5217

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
200 SOUTH MAIN STREET
MEMPHIS, TN 38103
CONTACT: GUY WALKER, P.E.
PHONE: (901) 445-6500
FAX: (901) 445-6501
WWW.KIMLEY-HORN.COM
PHONE: (601) 331-5334

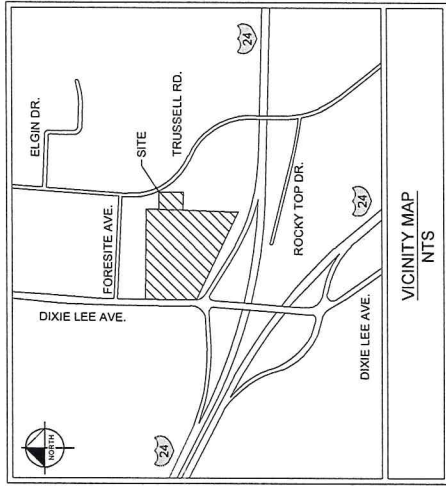
MEP:
PAGE INTERWORKS
100 RIVERFRONT PKWY, SUITE 200
NORTH WALKERSBORO, NC 28659
CONTACT: RYAN GIBBEN, PE
PHONE: (803) 384-0295

ARCHITECT:
MR COMPANIES INC
4000 WOODLAND ROAD
KNOXVILLE, TN 37919
CONTACT: RYAN GIBBEN, PE
PHONE: (615) 394-0200

SUBMITTOR:
THE MONTEAGLE PARTS LLC
1415 HAWKWAY 941
JASPER, TN 37347
CONTACT: GUY WALKER, PE
PHONE: (423) 394-8222

PERMITTING / UTILITY CONTACTS

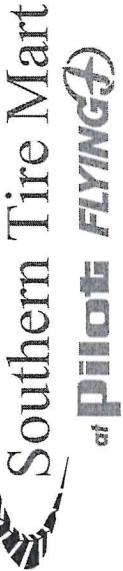
- WATER:**
MONTEAGLE
P.O. BOX 107
MONTEAGLE, TN 37956
CONTACT: GUY WALKER, PE
PHONE: (931) 891-5044
- ELECTRICITY:**
VALLEY ELECTRIC COMPANY
1400 US 41
PO BOX 277
MONTEAGLE, TN 37956
PHONE: (931) 756-8664
- PLANNING DEPARTMENT:**
REGIONAL PLANNING DEPARTMENT
PLANNER SE TN
1111 MARKET ST, SUITE 100
MONTEAGLE, TN 37956
PHONE: (423) 424-4280
- SEWER:**
MONTEAGLE
P.O. BOX 107
MONTEAGLE, TN 37956
CONTACT: GUY WALKER, PE
PHONE: (931) 891-5044
- GAS:**
SOUTHERN NATURAL GAS
55 STEVENS AVE
MONTEAGLE, TN 37956
CONTACT: CHRIS PANGE
PHONE: (931) 472-8664
- BUILDING DEPARTMENT:**
TOWN OF MONTEAGLE
BUILDING DEPARTMENT
MONTEAGLE, TN 37956
CONTACT: EARL GERRY, JR.
PHONE: (423) 424-3200
- DEPARTMENT OF ENVIRONMENTAL QUALITY:**
ENVIRONMENTAL AND CONSERVATION
100 RIVERFRONT PKWY, SUITE 200
NORTH WALKERSBORO, NC 28659
CONTACT: AMY MATCHER
PHONE: (408) 624-3145
- BIOLOGIC:**
BIOLOGIC CONNECT
3111 CHICKERY ST.
MONTEAGLE, TN 37956
PHONE: (931) 684-4131
- FIRE DEPARTMENT:**
TOWN OF MONTEAGLE
FIRE DEPARTMENT
MONTEAGLE, TN 37956
CONTACT: EARL GERRY, JR.
PHONE: (931) 320-8807



| Sheet Number | Sheet Title |
|--------------|------------------------------------|
| C0-00 | CIVIL COVER SHEET |
| V0-00 | TOPOGRAPHIC SURVEY (BY OTHERS) |
| C1-00 | DEMOLITION PLAN |
| C2-00 | SITE PLAN |
| C2-01 | DETAILED SITE PLAN |
| C3-00 | DETAILED GRADING AND DRAINAGE PLAN |
| C4-00 | EROSION CONTROL PLAN |
| C4-01 | EROSION CONTROL DETAILS |
| C5-00 | UTILITY PLAN |
| C6-00 | CONSTRUCTION DETAILS |
| C6-01 | CONSTRUCTION DETAILS |
| C6-02 | CONSTRUCTION DETAILS |
| L1-00 | LANDSCAPE PLAN |
| L1-50 | LANDSCAPE DETAILS |
| L1-51 | LANDSCAPE NOTES |

NOTES

- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DUE TO THE SCALING OF THE ORIGINAL DRAWINGS. THE SCALE OF THESE DRAWINGS IS AS SHOWN ON THE INSTRUMENT OF SERVICE, ENTERED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF THESE DRAWINGS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
- IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE ENCOUNTERED, EITHER ON THIS SMALL OR LARGE SCALE, THE CLIENT SHALL BE RESPONSIBLE FOR RESOLVING SUCH CONDITIONS. KIMLEY-HORN AND ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS.
- THE WORK SHOWN ON THESE PLANS HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT BEING PROVIDED TO KIMLEY-HORN AND ASSOCIATES. DUE TO THE NATURE OF THIS INFORMATION, KIMLEY-HORN IS UNABLE TO GUARANTEE THE ACCURACY OF ANY INFORMATION SHOWN ON THESE PLANS. KIMLEY-HORN IS NOT RESPONSIBLE FOR ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS WITH THE PLANNED IMPROVEMENTS.



PROJECT DATUM: MAD83

THE SITE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL, STATE, AND FEDERAL REGULATIONS AND STANDARDS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.

6726 PARK AVENUE, SUITE 100
MCKINNEY, TEXAS 75069
PHONE: (972) 771-1010
WWW.KIMLEY-HORN.COM

Kimley-Horn

TRAVEL CENTER
REALTY, LLC
800 S HWY 68
SUITE 100
COLLEEN, TEXAS 75006
PHONE: (901) 424-2005

TRAVEL CENTER
REALTY, LLC

| NO. | ISSUANCE AND REVISION DESCRIPTIONS | DATE | BY |
|-----|------------------------------------|------|----|
| | | | |
| | | | |
| | | | |

MONTEAGLE SOUTHERN
TIRE MART at PILOT
FLYING J
640 DIXIE LEE AVE. MONTGOMERY, TN 37105



| | |
|-------------|-----------|
| DESIGNED BY | J.D. |
| CHECKED BY | J.D. |
| REVIEWED BY | C.W. |
| DATE | 6/29/2021 |
| PROJECT NO. | 151500009 |
| TITLE | |

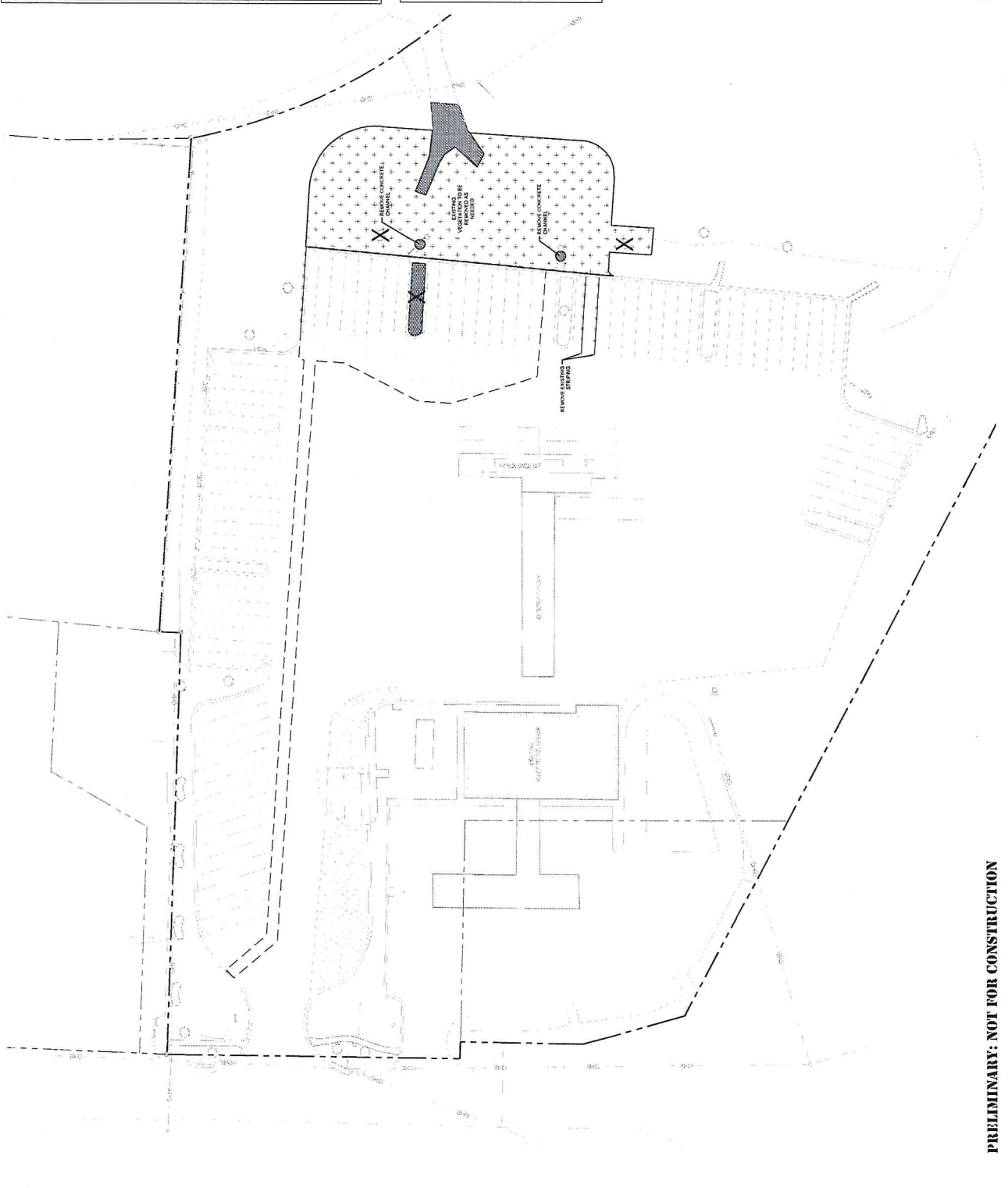
DEMOLITION PLAN
SHEET NUMBER
C1-00

DEMOLITION NOTES:

- UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITIES TO LOCATE AND MARK ALL UTILITIES PRIOR TO ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY FIELD TO LOCATE AND MARK UTILITIES WHEN NECESSARY OR ADAPTED FOR THEIR REQUIREMENTS.
- RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
- TREES TO REMAIN MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASE. REFERENCE TREE PROTECTION AND CONSTRUCTION PHASE PERMITS FOR TREE PROTECTION AND CONSTRUCTION PHASE PERMITS FOR TREE PROTECTION.
- CONSTRUCTION FENCES OR SILT FENCE SHALL NOT EXIST UNTIL AFTER THE DEMOLITION AND CONSTRUCTION PHASE PERMITS FOR TREE PROTECTION AND CONSTRUCTION PHASE PERMITS FOR TREE PROTECTION. THE CONTRACTOR SHALL MAINTAIN THE FENCE AT ALL TIMES AND SHALL OBTAIN THE NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION IS OBTAINED.
- CONTRACTOR SHALL CONTROL DISTURBING THE SITE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
- CONTRACTOR SHALL PROTECT SURROUNDING BUILDINGS AND UTILITIES FROM DAMAGE DURING DEMOLITION. ALL SERVICE IMPACTS WITH OWNER.
- NO GRADED SLOPE SHALL EXCEED 3:1 V.
- CONTRACTOR SHALL MAINTAIN AN ADA COMPLIANT PEDESTRIAN PATH ALONG THE ADJACENT STREET FRONTAGE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND REGULATIONS FOR ENVIRONMENTAL ASSESSMENTS PROVIDED BY THE OWNER.
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY FOUR POINTS LAND SURVEYING & ENGINEERING, INC. THE CONTRACTOR SHALL VERIFY THE INFORMATION TRACKED IN FROM AERIAL INFORMATION.

DEMOLITION LEGEND:

| | |
|--|---|
| | REMOVE EXISTING OBJECT |
| | REMOVE EXISTING ASPHALT PAVEMENT |
| | REMOVE EXISTING CONCRETE PAVEMENT |
| | REMOVE EXISTING GRAVEL |
| | REMOVE EXISTING VEGETATION |
| | REMOVE EXISTING UTILITIES, FENCING, CURBS & UTILITY SINKLES |
| | REMOVE EXISTING TREES/BUSHES |
| | APPROXIMATE SAW CUT LIMITS |



Know what's below.
Call before you dig.

PRELIMINARY: NOT FOR CONSTRUCTION

Drawing name: K:\E\A\ LDR\020000000 - MONTEAGLE SOUTHERN TIRE MART at PILOT - DEMOLITION PLAN.dwg C1-00 DEMOLITION PLAN Jun 28, 2021 3:28pm by: Justin Shivers

| NO. | ISSUANCE AND REVISION DESCRIPTIONS | DATE | BY |
|-----|------------------------------------|------|----|
| | | | |
| | | | |
| | | | |



DEVELOPMENT SUMMARY:

SITE SUMMARY:

ZONING: C-CENTER/CHANGE COMMERCIAL
 TOTAL DISTURBED AREA: *****
 BUILDING SETBACK: 30 FT
 FRONT: 30 FT
 REAR: 30 FT

SITE NOTES:

- THIS SHEET IS HEREBY GUARANTEED TO BE ACCURATE AND CORRECT. THE CLIENT HAS REVIEWED AND APPROVED THIS SHEET AND ACCEPTS ALL RISKS OF ANY INACCURACIES OR OMISSIONS. THE CLIENT'S RESPONSIBILITY IS TO VERIFY THE INFORMATION SHOWN ON THIS SHEET BEFORE CONSTRUCTION.
- TO A POINT PERPENDICULAR TO THE PROPERTY LINE.

SITE PLAN LEGEND:

- PROPERTY LINE
- BUILDING SETBACK LINE
- SAWTOOTH LIMITS
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SUBPARK
- HEAVY DUTY CONCRETE PAVEMENT
- GRASS LANDSCAPE
- GRAVEL MULCH
- BRICK PAVING
- PROPOSED PARKING COUNT

LANDSCAPING GUARANTEE

I (WE) HEREBY GUARANTEE TO THE TOWN OF MONTEAGLE THAT THE PLANT MATERIALS SHOWN ON THIS SITE PLAN WILL BE OCCUPANCY READY. ANY PLANT MATERIAL THAT DIES OR IS DAMAGED WITHIN THE FIRST YEAR AFTER INSTALLATION SHALL BE REPLACED WITH EQUIVALENT MATERIAL. THIS PROPERTY IS SOLD. THIS GUARANTEE WILL BECOME THE RESPONSIBILITY OF THE NEW OWNER(S).

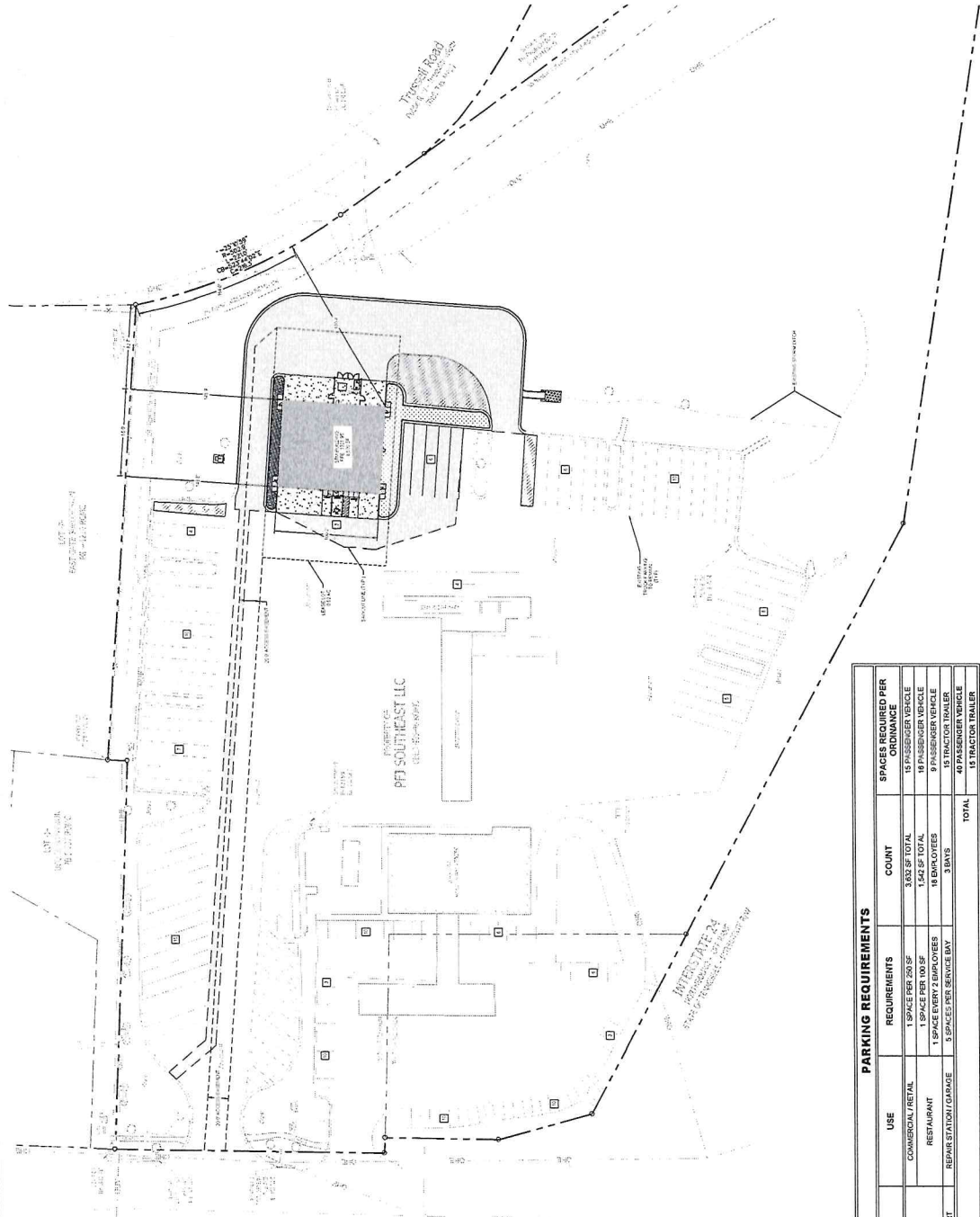
OWNER: _____ DATE: _____

CERTIFICATION OF ZONING COMPLIANCE

THIS SITE PLAN AND THE DEVELOPMENT SHOWN HEREON HAS BEEN REVIEWED AND FOUND TO BE IN COMPLIANCE WITH THE STANDARDS OF THE MONTEAGLE ZONING ORDINANCE AND WAS APPROVED BY THE MONTEAGLE ZONING COMMISSION ON THE DATE INDICATED.

SECRETARY, MONTEAGLE REGIONAL PLANNING COMMISSION

DATE: _____



811

Know what's below.
 Call before you dig.

0 25 50 100
 GRAPHIC SCALE IN FEET

PARKING REQUIREMENTS

| USE | REQUIREMENTS | COUNT | SPACES REQUIRED PER ORGANIZATION |
|-------------------------|--------------------------|----------------|----------------------------------|
| PILOT FLYING J | 1 SPACE PER 200 SF | 6,833 SF TOTAL | 15 |
| | 1 SPACE PER 1,000 SF | 3,000 SF TOTAL | 3 |
| | 1 SPACE PER 2 EMPLOYEES | 16 EMPLOYEES | 8 |
| | 5 SPACES PER SERVICE BAY | 3 BAYS | 15 |
| REPAIR STATION / GARAGE | | | 15 TRACTOR TRAILER |
| | | | 15 TRACTOR TRAILER |
| TOTAL | | | 61 |

PARKING PROVIDED

| USE | REQUIREMENTS | SPACES PROVIDED | DIFFERENCE |
|--------------------|-------------------------------------|-----------------|--|
| PILOT FLYING J | 58 PASSENGER VEHICLE SPACES ON SITE | 58 | 10 SPACES SURPLUS |
| | 75 TRACTOR TRAILER SPACES ON SITE | 75 | 60 SPACES SURPLUS |
| | 2 EMPLOYEE ADA PASSENGER VEHICLE | 2 | 3 SPACES SURPLUS |
| SOUTHERN TIRE MART | 61 PASSENGER VEHICLE | 61 | 0 |
| | 15 TRACTOR TRAILER | 15 | 0 |
| TOTAL | | 139 | 78 PASSENGER VEHICLE SPACES SURPLUS |

PRELIMINARY: NOT FOR CONSTRUCTION

| NO. | ISSUANCE AND REVISION DESCRIPTIONS | DATE | BY |
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PROJECT NO: 110000000
 DATE: 6/26/2021
 REVISION BY: JAV
 REVISION BY: JAV
 SHEET NO: 110000000

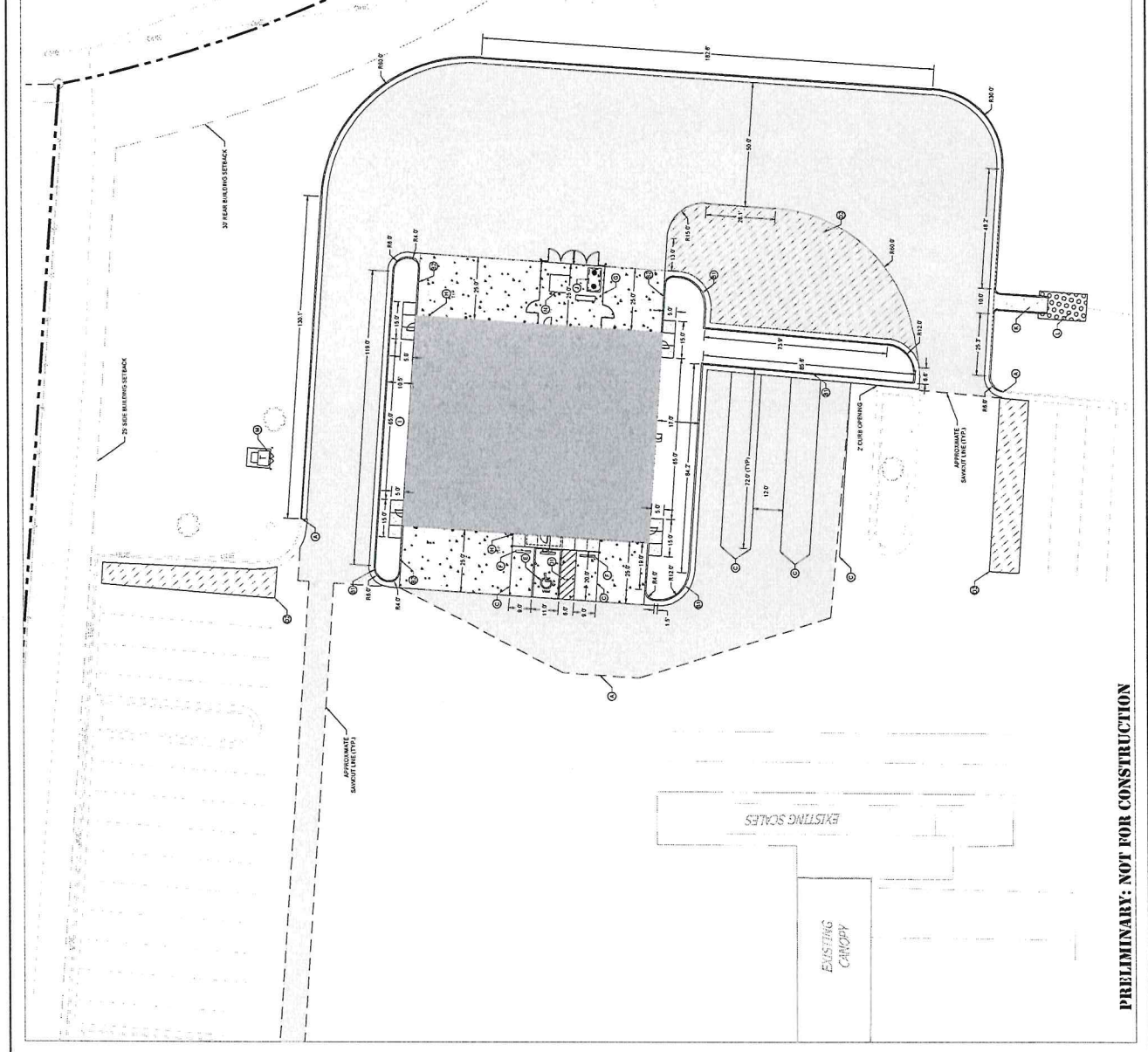
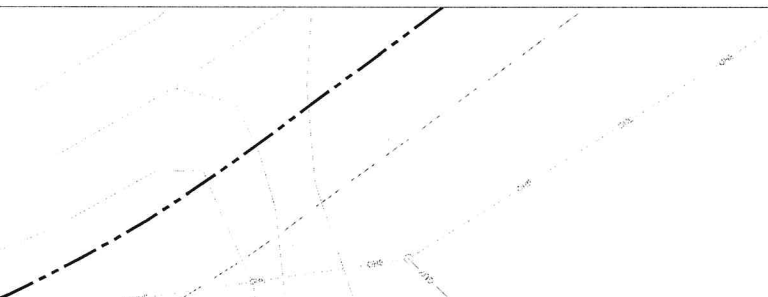
- SITE KEYNOTE LEGEND:**
- (A) TIE TO EXISTING CONTRACTOR TO MATCH EXISTING GRADE AND ALIGNMENT
 - (B) PAVEMENT (TYP)
 - (C) TYPE 'B' CURB AND GUTTER ADJACENT TO ASPHALT PAVEMENT (TYP)
 - (D) TRAFFIC LIGHT (TYP)
 - (E) HANGING LOT SIGNING, 'C' SOLID YELLOW STRIPE
 - (F) ACCESSIBLE ADA PARKING STALL WITH ACCESSIBLE PARKING
 - (G) PROPOSED CONCRETE WHEEL STOP
 - (H) PROPOSED FENCE REFER TO CONSTRUCTION DETAILS
 - (I) 'P' PIPE BOLLARDS REFER TO CONSTRUCTION DETAILS
 - (J) ROCK MULCH (REFER TO CONSTRUCTION DETAILS)
 - (K) CULVERT SEPARATOR
 - (L) CONCRETE FLOWLINE (P WIDE UH10)
 - (M) REBAR
 - (N) PROPOSED TRANSFORMER AND ENCLOSURE
 - (O) EQUIPMENT

- GENERAL NOTES:**
1. ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
 2. CONTRACTOR MUST SECURE ALL NECESSARY PERMITS.
 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE GROUND BEFORE BEGINNING CONSTRUCTION. THE REPRODUCTION PROCESS OF THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS WELL AS THE CONTRACTOR'S OBLIGATION TO THE CLIENT, IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. NO REPRODUCTION OR TRANSMISSION OF ANY KIND IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC.
 4. IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER INFORMATION IS DISCOVERED BY THE CONTRACTOR, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MONTGOMERY, TENNESSEE, AND THE STATE OF TENNESSEE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MONTGOMERY, TENNESSEE, AND THE STATE OF TENNESSEE.
 5. ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN ON THE PLANS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MONTGOMERY, TENNESSEE, AND THE STATE OF TENNESSEE.
 6. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL CODES, SPECIFICATIONS, AND DETAILS.
 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MONTGOMERY, TENNESSEE, AND THE STATE OF TENNESSEE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MONTGOMERY, TENNESSEE, AND THE STATE OF TENNESSEE.
 8. CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR IMMEDIATELY BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
 9. THE CONTRACTOR SHALL CAREFULLY PRESERVE ALL EXISTING UTILITIES AND STRUCTURES.
 10. ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING PERMITS AND CONSTRUCTION.
 11. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKERS AND PUBLIC SHALL BE PROTECTED FROM DAMAGE AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
 12. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES AND STRUCTURES.
 13. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MONTGOMERY, TENNESSEE, AND THE STATE OF TENNESSEE.
 14. SPECIFICATIONS SHALL BE RECORDED IN ACCORDANCE WITH THE CITY OF MONTGOMERY, TENNESSEE, AND THE STATE OF TENNESSEE.
 15. ALL CONSTRUCTION SHALL FOLLOW THE RECOMMENDATIONS OF THE ENGINEER.
 16. ALL PARKING STALLS SHALL BE 'F' SOLID WHITE PAVEMENT MARKINGS EXCEPT ACCESSIBLE PARKING STALLS, WHICH SHALL BE 'A' SOLID WHITE PAVEMENT MARKINGS.
 17. ALL PASSENGER VEHICLE PARKING STALLS ARE 9' WIDE UNLESS OTHERWISE NOTED.
 18. UNLESS OTHERWISE NOTED, DIMENSIONS PROVIDED ARE THE MINIMUM NECESSARY TO CONSTRUCT THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MONTGOMERY, TENNESSEE, AND THE STATE OF TENNESSEE.
 19. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS CONSIDERED A PUBLIC IMPROVEMENT.

GRAPHIC SCALE IN FEET
 0 10 20 30 40

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 Know what's below.
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- SITE PLAN LEGEND:**
- PROPERTY LINE
 - BUILDING SETBACK LINE
 - SAWCUT LIMITS
 - HEAVY DUTY ASPHALT PAVEMENT
 - CONCRETE SIDEWALK
 - HEAVY DUTY CONCRETE PAVEMENT
 - PROPOSED PARKING COUNT



PRELIMINARY: NOT FOR CONSTRUCTION

Drawing Name: K:\ME\LOE\000000000 - TL, White\STM11501000 - Monreagle\TMCAD\Plan\3-00 DETAILED GRADING AND DRAINAGE PLAN.dwg C3-00 DETAILED GRADING AND DRAINAGE PLAN Jun 29, 2011 2:26pm By: Justin Shell

| NO. | ISSUANCE AND REVISION DESCRIPTIONS | DATE | BY |
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**MONTAGLE SOUTHERN
TIRE MART at PLOT
FLYING J**
640 DIKE LEE AVE MONTAGLE, TN 37156



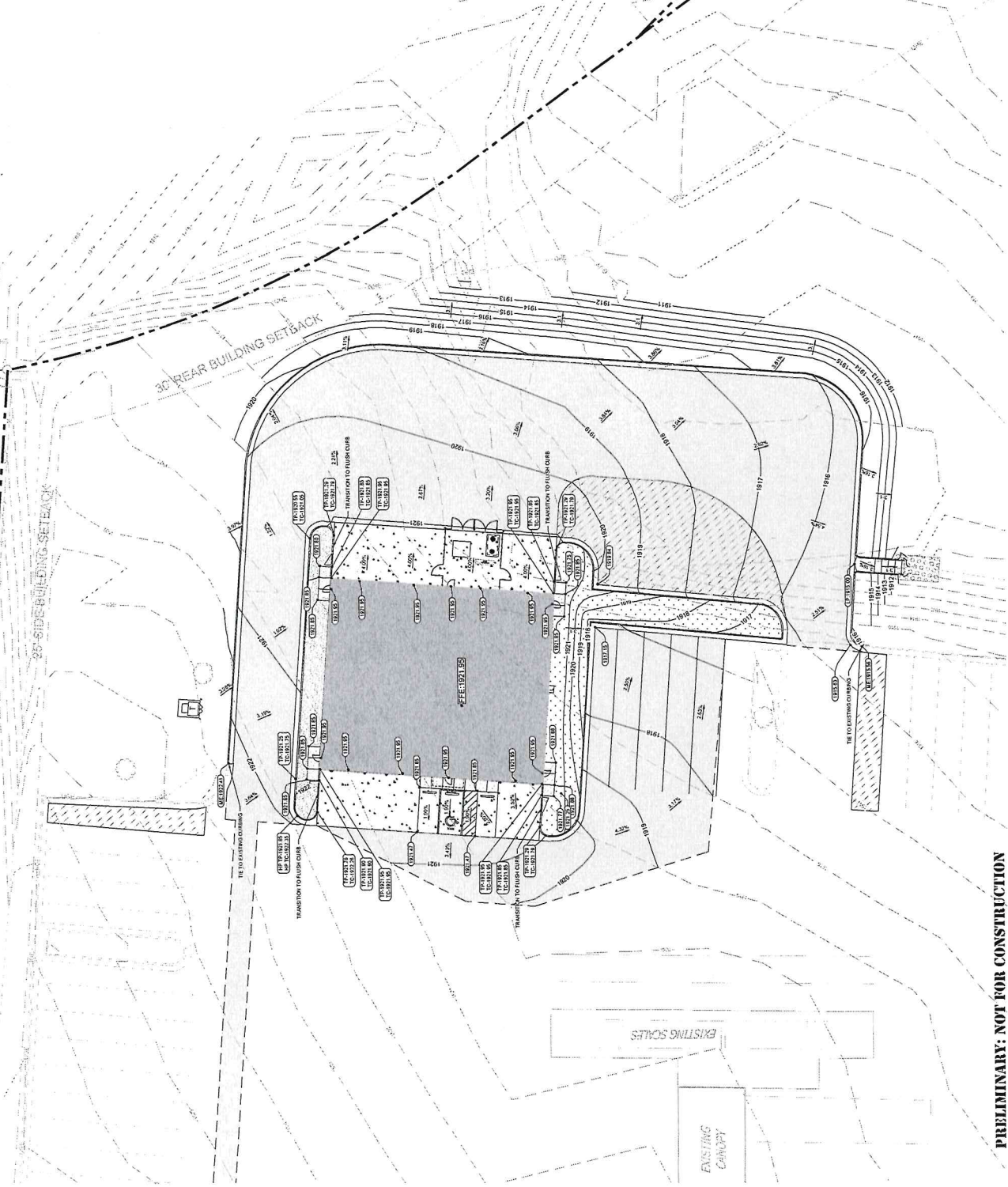
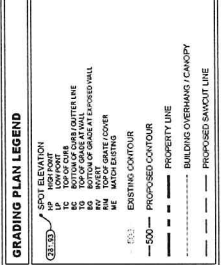
DESIGNED BY: JHS
CHECKED BY: JHS
DATE: 06/29/2011
PROJECT NO.: 115000000

TITLE:
DETAILED GRADING AND DRAINAGE PLAN
C3-00

811
Know what's below.
Call before you dig.

GRAPHIC SCALE
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FEET

- GRADING & DRAINAGE NOTES:**
- 1. CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
 - 2. CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND STAIRS WITHIN 6" OF FINISH GRADE. ALL SIDEWALKS SHALL BE CONSTRUCTED WITHIN 6" OF FINISH GRADE. SIDEWALKS SHALL BE CONSTRUCTED WITHIN 6" OF FINISH GRADE. SIDEWALKS SHALL BE CONSTRUCTED WITHIN 6" OF FINISH GRADE.
 - 3. ZONE AS DEFINED BY THE F.E.M.A. "100-YEAR FLOOD HAZARD BOUNDARY" SHALL BE CONSTRUCTED TO BE AT LEAST 1' CLEAR OF THE "100-YEAR FLOOD HAZARD BOUNDARY".
 - 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL UTILITY COMPANY RECORDS. ALL UTILITIES SHALL BE RELOCATED AND COORDINATED WITH THE UTILITY COMPANIES PRIOR TO CONSTRUCTION. ALL UTILITY RELOCATIONS SHALL BE NECESSARY ON ADAPTED FOR THIS PROJECT.
 - 5. CONTRACTOR TO FIELD VERIFY EXISTING INFERT FOR SANITARY, SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. ALL UTILITY RELOCATIONS SHALL BE NECESSARY PRIOR TO PROCEEDING.
 - 6. NO GRADED SLOPE SHALL EXCEED 3:1 V.



PRELIMINARY: NOT FOR CONSTRUCTION

Kimley-Horn
 CONSULTANTS
 2500 U.S. HWY. 66
 COLUMBIA, MISSISSIPPI 39208
 PHONE (601) 324-0000
 WWW.KIMLEY-HORN.COM

TRAVEL CENTER
 REALTY, LLC
 PHONE (601) 324-0000

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MONTAGLE SOUTHERN
 TIRE MART at PILOT
 FLYING J
 640 DIXIE E. AVE. MONTAGLE, TN 37156



PROJECT NO. 113300000
 DATE 02/09/2021
 DRAWN BY
 CHECKED BY

PROJECT TITLE
EROSION CONTROL PLAN
 SHEET NUMBER
C4-00

EROSION CONTROL LEGEND:

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| | CONSTRUCTION EFT |
| | ENTRENCH |
| | CONCRETE WASHOUT AREA |
| | EROSION PILES |
| | CONSTRUCTION SIGN |
| | PROPERTY BOUNDARY |
| | SMOOTH LINE |

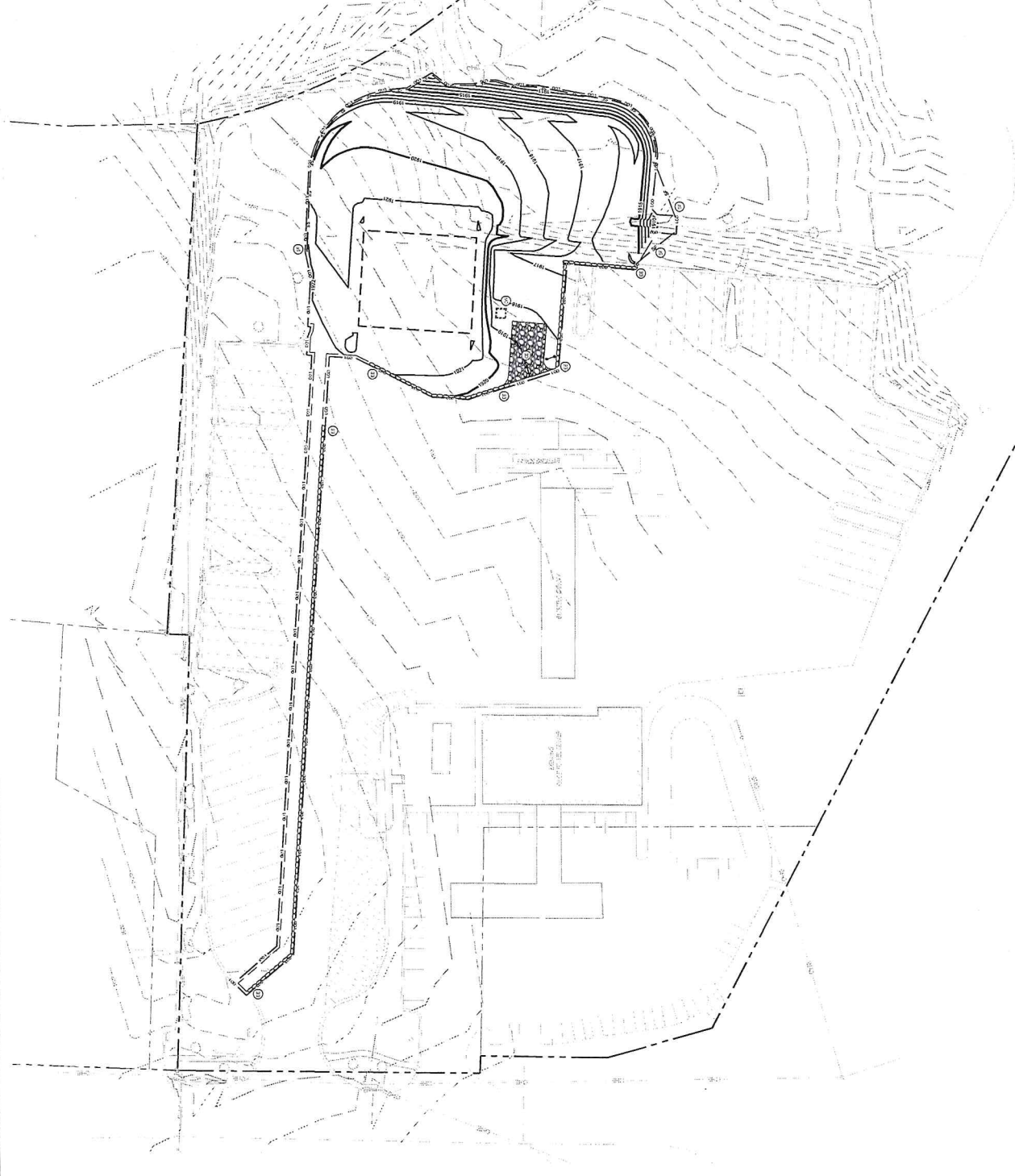
EROSION CONTROL NOTES:

1. A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CLIENT SHALL NOTIFY THE LOCAL JURISDICTION OF THE PROJECT AND ALL NEARBY ADJACENT PROPERTY OWNERS. THE CLIENT SHALL BE RESPONSIBLE FOR NOTIFYING ALL NEARBY ADJACENT PROPERTY OWNERS AND PROVIDING THEM WITH A COPY OF THIS PLAN AND A SUMMARY OF THE EROSION CONTROL MEASURES TO BE INSTALLED ON THE PROJECT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS FROM THE LOCAL JURISDICTION PRIOR TO THE START OF CONSTRUCTION.
2. ALL NEARBY ADJACENT PROPERTY OWNERS SHALL BE PROVIDED WITH A COPY OF THIS PLAN AND A SUMMARY OF THE EROSION CONTROL MEASURES TO BE INSTALLED ON THE PROJECT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS FROM THE LOCAL JURISDICTION PRIOR TO THE START OF CONSTRUCTION.
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26. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS FROM THE LOCAL JURISDICTION PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION SEQUENCING:

1. INSTALL EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN.
2. INSTALL EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN.
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26. INSTALL EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN.

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PRELIMINARY: NOT FOR CONSTRUCTION

This document, together with the contract and change orders, constitutes the entire agreement between the parties. It is to be read in conjunction with the contract documents, including but not limited to, the General Conditions and Specifications, and any addenda thereto. The client shall be responsible for obtaining all necessary permits and approvals from the local jurisdiction. The client shall be responsible for obtaining all necessary permits and approvals from the local jurisdiction. The client shall be responsible for obtaining all necessary permits and approvals from the local jurisdiction.

| NO. | ISSUANCE AND REVISION DESCRIPTIONS | DATE | BY |
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J.L. TIPTON
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF TENNESSEE
 LICENSE NO. 34567
 MECHANICAL

- UTILITY NOTES:**
1. ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
 2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTIONS AND ROUTING LOCATIONS WITH APPLICABLE AGENCIES.
 3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE AGENCIES' REGULATIONS, ORDINANCES AND SPECIFICATIONS.
 4. ALL SPLETINGS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES BEHIND THE ACTUAL LENGTHS BASED ON PROPOSED PIPE CENTERLINE LOCATIONS. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES BEHIND THE ACTUAL LENGTHS BASED ON PROPOSED PIPE CENTERLINE LOCATIONS. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES BEHIND THE ACTUAL LENGTHS BASED ON PROPOSED PIPE CENTERLINE LOCATIONS. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES BEHIND THE ACTUAL LENGTHS BASED ON PROPOSED PIPE CENTERLINE LOCATIONS.
 5. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES BEHIND THE ACTUAL LENGTHS BASED ON PROPOSED PIPE CENTERLINE LOCATIONS. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES BEHIND THE ACTUAL LENGTHS BASED ON PROPOSED PIPE CENTERLINE LOCATIONS. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES BEHIND THE ACTUAL LENGTHS BASED ON PROPOSED PIPE CENTERLINE LOCATIONS.
 6. ALL UTILITY CONNECTIONS SHALL BE LOCATED UNDERGROUND, EXCEPT AS NOTED OTHERWISE.
 7. ALL UTILITY CONNECTIONS SHALL BE LOCATED UNDERGROUND, EXCEPT AS NOTED OTHERWISE.
 8. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND TELEPHONE SERVICE. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

9. CONTRACTOR SHALL COORDINATE WITH THE TOWN OF MONTAGLE FOR THE INSTALLATION OF WATER METERS.
10. CONTRACTOR SHALL REFERENCE BUILDING PLANS FOR UTILITY CONNECTIONS INSIDE BUILDING.
11. ALL FITTINGS AND BEINGS ON WATER LINES AND SANITARY SEWER LINES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
12. TOWN OF MONTAGLE SHALL HAVE INDUSTRY APPROVED PURPOSE OF MAINTAINING ALL PUBLIC SEWER LINES AND SANITARY SEWER LINES. CONTRACTOR SHALL MAINTAINANCE OF SAID PRIVATE DRAINAGE AND PAROS.
13. SANITARY SEWER PIPES SHALL BE 300x36 P.C.
14. WATER PIPES SHALL BE C500 P.C.

UTILITY LEGEND:

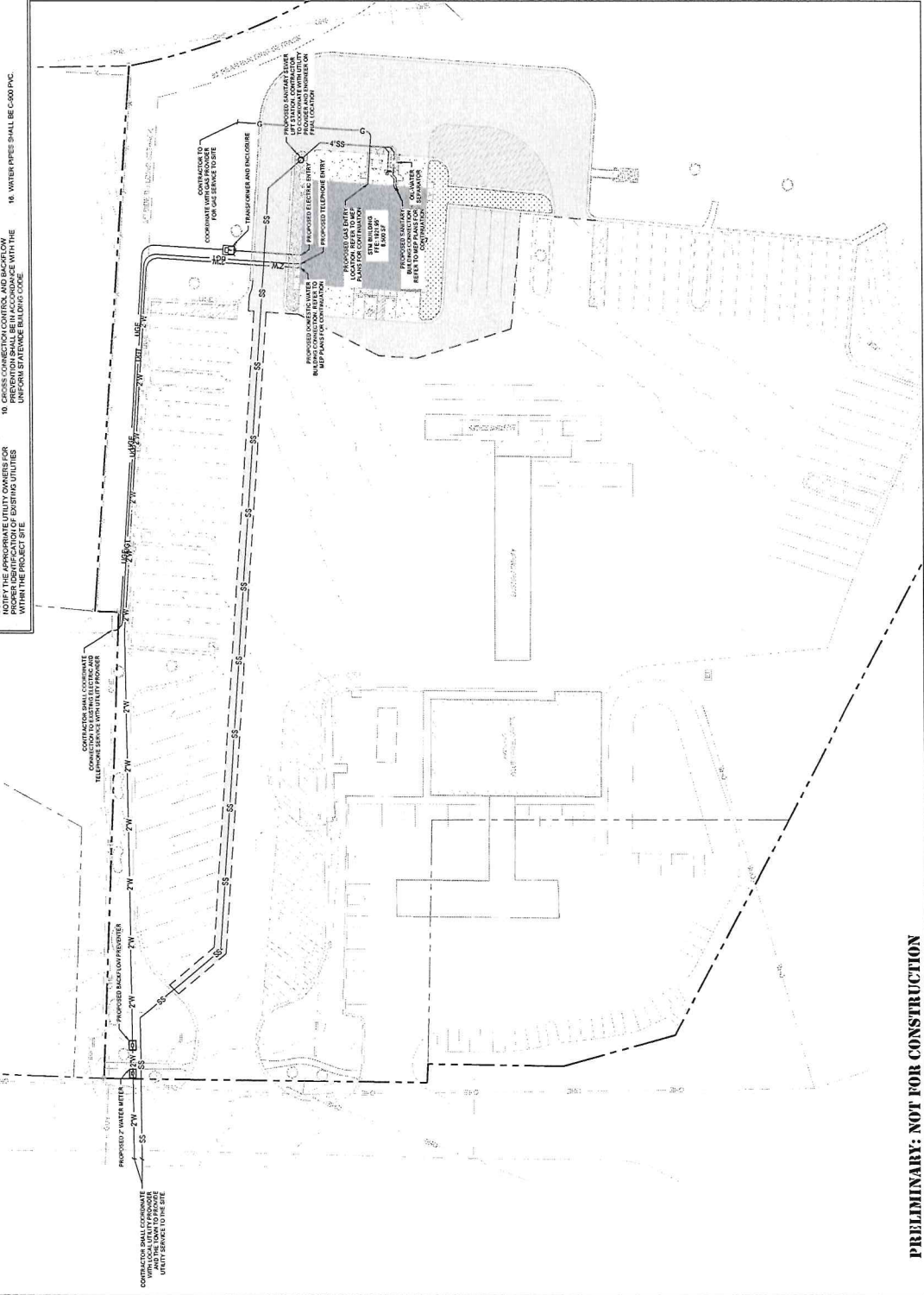
- PROPOSED 2" DOMESTIC WATER LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE
- PROPOSED NATURAL GAS LINE
- PROPOSED 4" SANITARY SEWER LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING GUY WIRE
- EXISTING FIRE HYDRANT
- PROPOSED SANITARY SEWER LIFT STATION
- PROPOSED 2" WATER METER
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED SANITARY QUANTER WATER GENERATOR
- PROPOSED BACKFLOW PREVENTER

- FRANCHISE UTILITY NOTES**
1. THE GAS, ELECTRIC, AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE UTILITY COMPANIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THIS PLAN.
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 4. CONTRACTOR SHALL VERIFY THAT METER AND TRANSFORMER UTILITY COMPANIES FOR, BUT NOT LIMITED TO, THE OFFSET DISTANCE FROM FACE OF BUILDING.

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 Know what's below.
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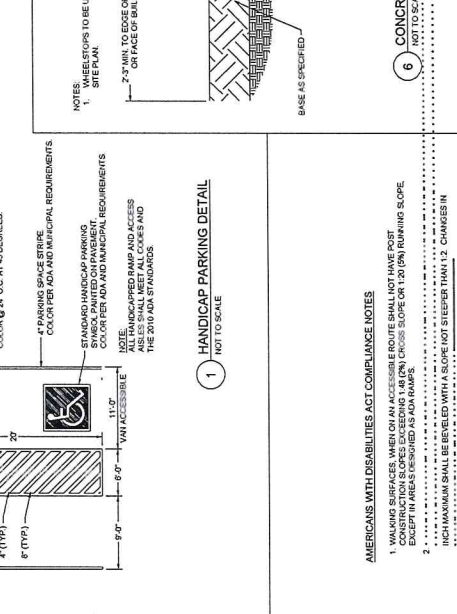
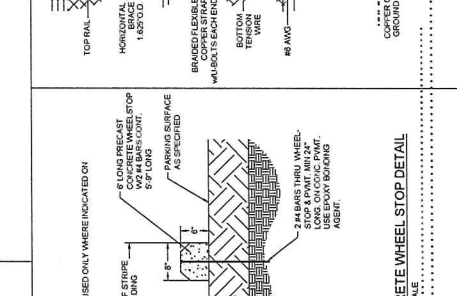
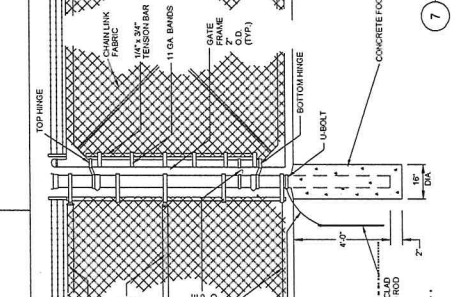
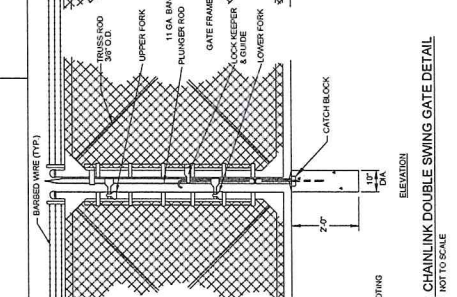
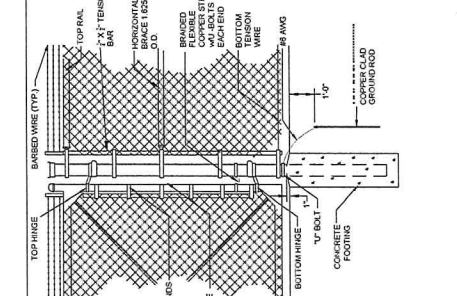
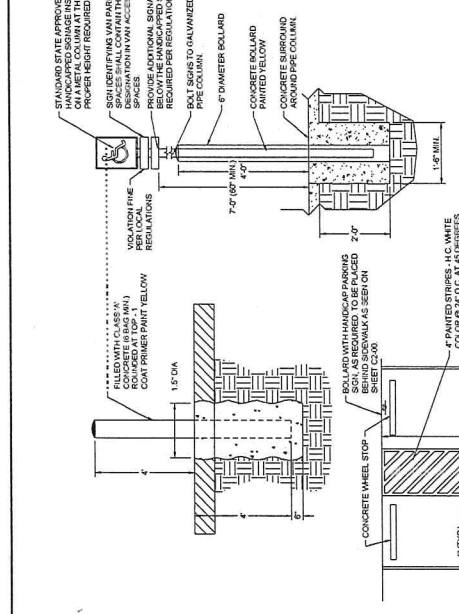
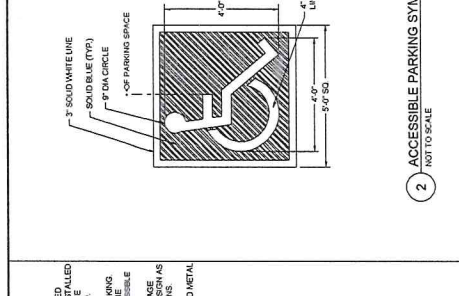
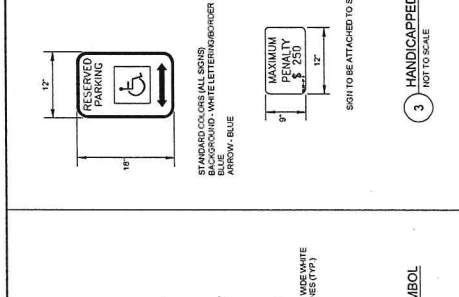
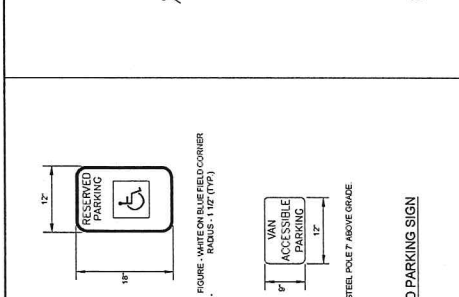
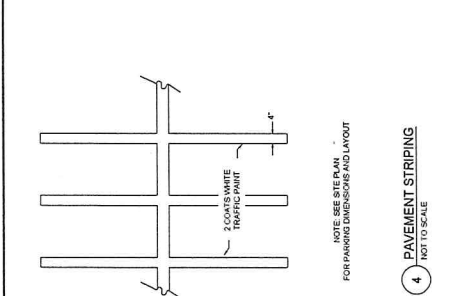
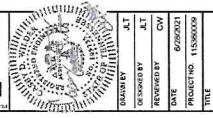
- GENERAL UTILITY NOTES**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR WATER AND SEWER SYSTEMS.
 2. SHOULD ANY UNCHARTERED OR INCORRECTLY CHARTED UTILITIES BE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY PROVIDER IMMEDIATELY FOR DIRECTION.
 3. CONTRACTOR SHALL COORDINATE ANY UTILITIES WITH THE UTILITY SERVICE WITH OWNER AND UTILITY COMPANY.
 4. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY OWNERS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
 5. ANY PLANNED INTERRUPTION OF UTILITY SERVICE SHALL BE COORDINATED WITH THE UTILITY COMPANY AND THE OWNER.
 6. CONTRACTOR SHALL SCHEDULE, REMOVE, AND REPLACE ASPHALT PAVEMENT AS NECESSARY TO ACCOMMODATE THE INSTALLATION OF WATER, SANITARY SEWER, AND COMMUNICATIONS UTILITIES.
 7. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL ELECTRICAL AUTHORITY.
 8. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UTILITIES WITH THE LOCAL UTILITY AUTHORITY.
 9. 18" OF CLEARANCE TO BE MAINTAINED BETWEEN SANITARY SEWER AND ALL UTILITIES.
 10. CROSS CONNECTION CONTROL AND BACKFLOW PREVENTION SHALL BE IN ACCORDANCE WITH THE TOWN OF MONTAGLE BUILDING CODE.



- CONTRACTOR SHALL COORDINATE WITH THE TOWN OF MONTAGLE FOR THE INSTALLATION OF WATER METERS.**
- CONTRACTOR SHALL REFERENCE BUILDING PLANS FOR UTILITY CONNECTIONS INSIDE BUILDING.**
- ALL FITTINGS AND BEINGS ON WATER LINES AND SANITARY SEWER LINES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.**
- TOWN OF MONTAGLE SHALL HAVE INDUSTRY APPROVED PURPOSE OF MAINTAINING ALL PUBLIC SEWER LINES AND SANITARY SEWER LINES. CONTRACTOR SHALL MAINTAINANCE OF SAID PRIVATE DRAINAGE AND PAROS.**
- SANITARY SEWER PIPES SHALL BE 300x36 P.C.**
- WATER PIPES SHALL BE C500 P.C.**

PRELIMINARY: NOT FOR CONSTRUCTION

| NO. | ISSUANCE AND REVISION DESCRIPTIONS | DATE | BY |
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AMERICANS WITH DISABILITIES ACT COMPLIANCE NOTES

- WALKING SURFACES WHEN ON RAMP SHALL BE 1:4 (2%) SLOPE EXCEPT IN AREAS DESIGNATED AS ADA RAMPS.
- WHERE HANDRAILS ARE PROVIDED, THE CLEAR WIDTH BETWEEN THE HANDRAILS SHALL BE 36 INCH MAXIMUM ON A RAMP RUN.
- ALL ACCESSIBLE AREAS SHALL BE CONSTRUCTED WITH SLIP RESISTANT FINISH.
- ALL ACCESSIBLE AREAS SHALL BE CONSTRUCTED WITH 1/4" DIA. REINFORCING BARS.
- HANDICAP PARKING WIDTH SHALL NOT BE LESS THAN 96 INCHES FOR CAR DRIVING OR 132 INCHES FOR VAN DRIVING. WIDTHS SHALL NOT BE LESS THAN 96 INCHES FOR VAN DRIVING.
- CURB RAMP DRIVING SLOPE SHALL NOT EXCEED 1:12 (8.33%) MAXIMUM. CROSS SLOPE MUST NOT EXCEED 1:48 (2.08%) MAXIMUM. SIDE FLARES MUST NOT BE STEEPER THAN 1:10 (10%).
- ALL ADJACENT SURFACES AT TRANSITIONS OF CURB RAMPS TO WALKWAYS, GUTTERS, AND STREETS SHALL BE THE SAME LEVEL.

NOTES

- STANDARD STATE APPROVED HANDICAPPED SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROPER HEIGHT REQUIRED.
- SOIL CONDITIONS VAN PARKING SPACES SHALL CONTAIN THE SIGNATURE OF AN ACCESSIBLE SPACES INSPECTION REPORT AS REQUIRED PER REGULATIONS.
- PROVIDE ADDITIONAL SIGNAGE AS REQUIRED PER REGULATIONS.
- POST SIGNS TO GALVANIZED METAL PIPE COLUMN.
- 6" DIAMETER BOLLARD.
- CONCRETE BOLLARD PAINTED YELLOW.
- CONCRETE SURROUND AROUND PIPE COLUMN.
- 1/4" DIA. REINFORCING BARS.
- CONCRETE WHEEL STOP SHALL BE AS SHOWN ON SHEET C6-00.
- IF PARKING SPACES, H.C. WHITE COLOR @ 2" O.C. AT SUBSIDIES.
- IF PARKING STRIPES COLOR PER ADA AND MUNICIPAL REQUIREMENTS.
- STANDARD HANDICAP PARKING SYMBOL PAINTED ON PAVEMENT.
- NOTE: REQUIRED RAMP AND ACCESS ASSES SHALL MEET ALL CODES AND THE 2010 ADA STANDARDS.

NOTES

- STATE LOCATION OF FENCE PRIOR TO CONSTRUCTION SHALL BE OBTAINED BY OWNER.
- ALL FENCE TO BE POLYVINE COATED CHAINLINK FENCE AS APPROVED BY OWNER UNLESS NOTED OTHERWISE.
- IF LOCAL JURISDICTION APPROVED BY OWNER UNLESS AS ALLOWED BY LOCAL JURISDICTION.

NOTES

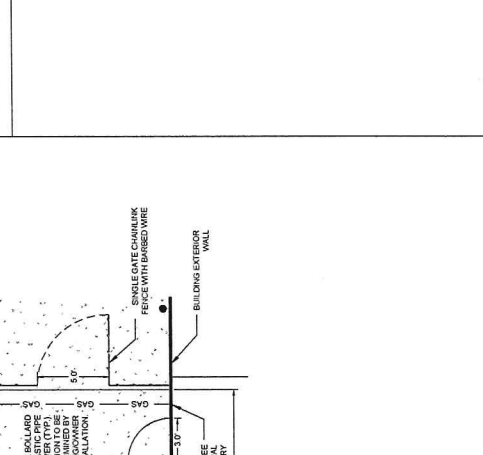
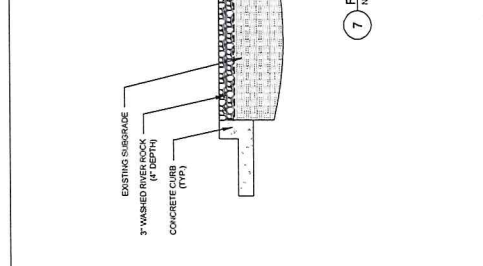
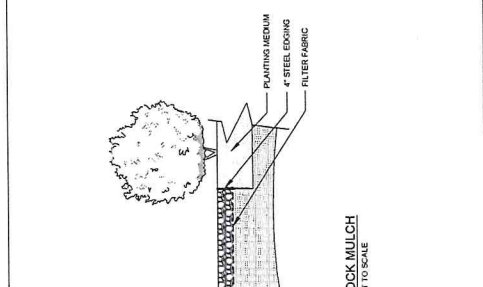
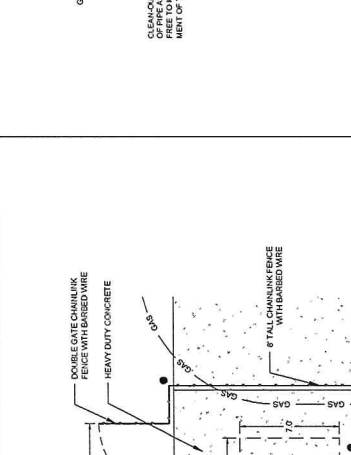
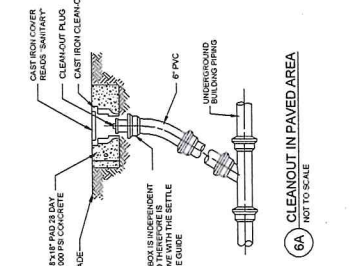
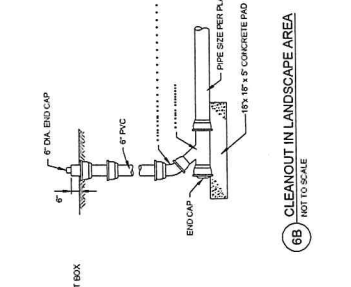
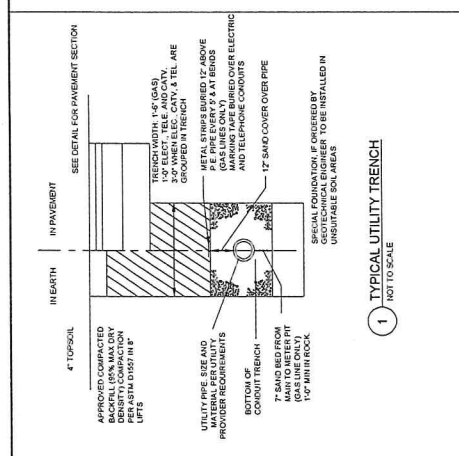
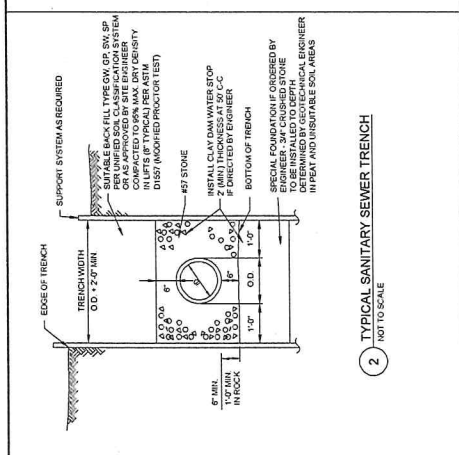
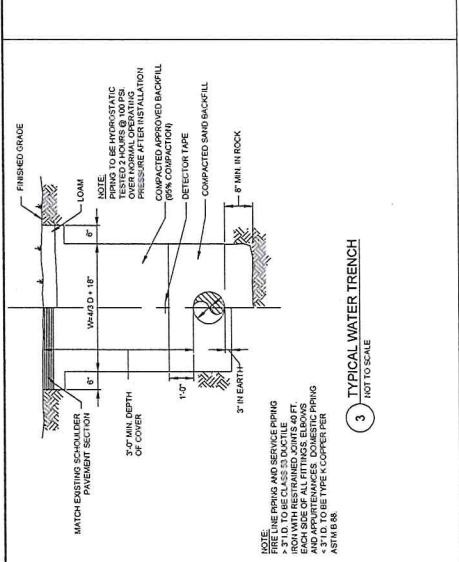
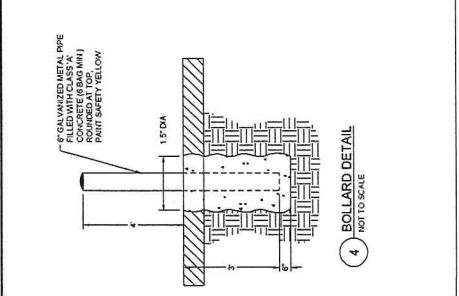
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PRELIMINARY: NOT FOR CONSTRUCTION

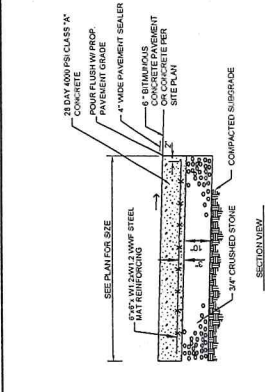
| NO. | ISSUANCE AND REVISION DESCRIPTIONS | DATE |
|-----|------------------------------------|------|
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|-------------|------------|
| DESIGNED BY | JLT |
| CHECKED BY | JLT |
| DATE | 06/09/2021 |
| PROJECT NO. | 15500009 |
| TITLE | |



PRELIMINARY: NOT FOR CONSTRUCTION

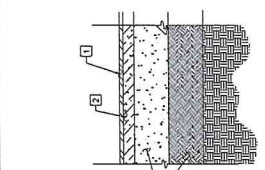
Drawing name: K:\M\B\LOEY\000000000 - TL White\ST1M1151109009 - Montage\TRC\CD\Plan\44444444\CD1 CONSTRUCTION DETAILS.dwg C6-01 CONSTRUCTION DETAILS, Jun 28, 2021, 3:55pm by: Jason Shreve
 This document, together with the associated design and specifications, is the property of Kimley-Horn and Associates, Inc. It is to be used only for the specific project and site for which it was prepared. It is not to be used for any other project without the written authorization and approval of Kimley-Horn and Associates, Inc. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kimley-Horn and Associates, Inc.



1 TYPICAL HEAVY DUTY CONCRETE PAVEMENT SECTION
NOT TO SCALE

NOTE:
FOR HEAVY DUTY PAVEMENT, DOVING BARS ONE INCH IN DIAMETER AND A MINIMUM OF 18 INCHES IN LENGTH SHOULD BE INSERTED ONE FOOT ON EACH SIDE OF JOINTS AT CONTRACTION JOINTS. DEPTH OF REINFORCING SHOULD BE AT THE SLAB THICKNESS AT JOINTS. REFER TO THE CONCRETE PAVEMENT ASSOCIATION FOR FURTHER RECOMMENDATIONS.

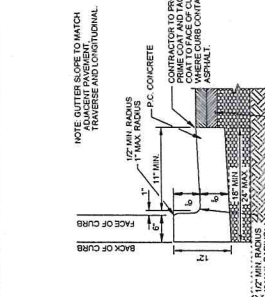
1 TYPICAL HEAVY DUTY CONCRETE PAVEMENT SECTION
NOT TO SCALE



2 TYPICAL ASPHALT PAVEMENT SECTION
NOT TO SCALE

THE MATERIALS SHALL MEET THE REQUIREMENTS SET FORTH IN THE SPECIFICATIONS FOR ASPHALT PAVEMENTS AND SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITION, PUBLISHED BY THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT).

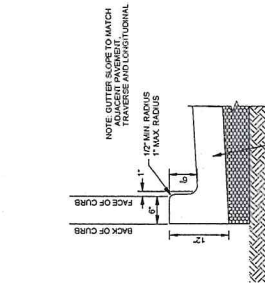
2 TYPICAL ASPHALT PAVEMENT SECTION
NOT TO SCALE



3 TYPE "A" CONCRETE CURB AND GUTTER
NOT TO SCALE

NOTE: GUTTER SLOPE TO MATCH TRANSVERSE AND LONGITUDINAL TRAVEL AND COMPACT ASPIHALT.

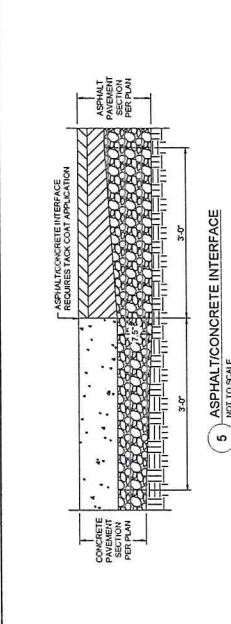
3 TYPE "A" CONCRETE CURB AND GUTTER
NOT TO SCALE



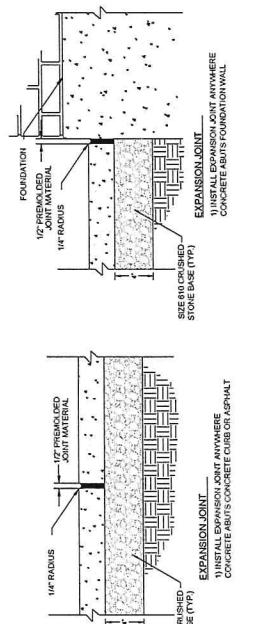
4 TYPE "B" INTEGRAL CURB AND GUTTER
NOT TO SCALE

NOTE: GUTTER SLOPE TO MATCH TRANSVERSE AND LONGITUDINAL TRAVEL AND COMPACT ASPIHALT.

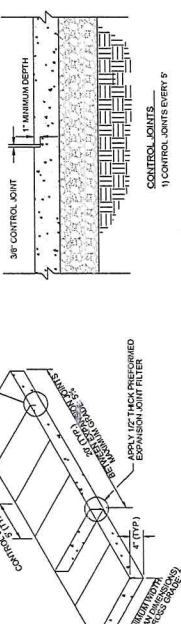
4 TYPE "B" INTEGRAL CURB AND GUTTER
NOT TO SCALE



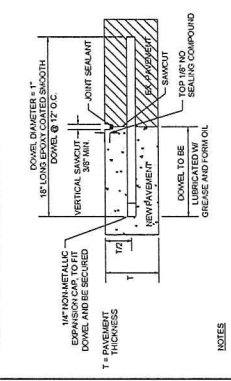
5 ASPHALT/CONCRETE INTERFACE
NOT TO SCALE



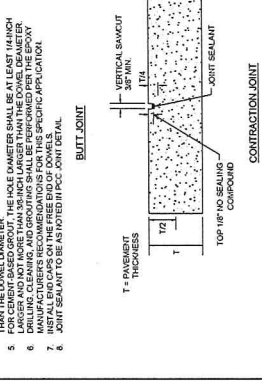
6 CONSTRUCTION SIDEWALK
NOT TO SCALE



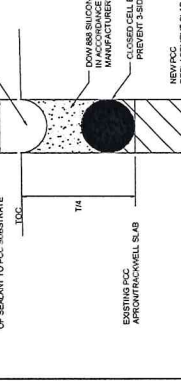
6 CONSTRUCTION SIDEWALK
NOT TO SCALE



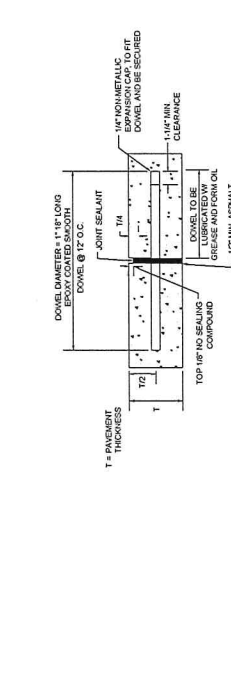
7 CONCRETE PAVEMENT JOINT DETAILS
NOT TO SCALE



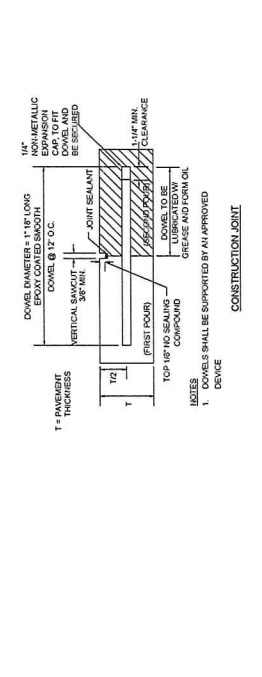
7 CONCRETE PAVEMENT JOINT DETAILS
NOT TO SCALE



7 CONCRETE PAVEMENT JOINT DETAILS
NOT TO SCALE



CONSTRUCTION JOINT
NOT TO SCALE



CONSTRUCTION JOINT
NOT TO SCALE



CONSTRUCTION JOINT
NOT TO SCALE

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MONTAGLE SOUTHERN
TIRE MART at PILOT
FLYING J
640 DIEBEE AVE. NORTON, TN 37356

REVISIONS:
BY: JLT
DATE: 05/20/21
CHECKED BY: JLT
DATE: 05/20/21
PROJECT NO.: 113300090
SHEET NUMBER: C6-02

CONSTRUCTION DETAILS
SHEET NUMBER: **C6-02**



CONCRETE PAVEMENT JOINT DETAILS
NOT TO SCALE

PRELIMINARY: NOT FOR CONSTRUCTION

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PLANT SCHEDULE

| TABLE | SYMBOL | RECOMMENDATION | SIZE | SCALE | CONDITION |
|-------|----------|---|------------|----------|--------------------|
| 1 | (Symbol) | Existing Tree to Retain | As Shown | As Shown | As Shown |
| 27 | (Symbol) | Max. Crown Top Pruned Red Holly | 5-6" HT. | 8-18" | Minimum 1 Year Old |
| 28 | (Symbol) | Max. Crown Top Pruned Eastern Red Cedar | 6-8" HT. | 8-18" | Minimum 1 Year Old |
| 29 | (Symbol) | Max. Crown Top Pruned Other Plant Material | 2" Caliper | 8-18" | Minimum 1 Year Old |
| 30 | (Symbol) | Contractor to Plant 418' Tillary 418' Bermuda Grass | As Shown | As Shown | As Shown |
| 31 | (Symbol) | Contractor to Plant 418' Tillary 418' Bermuda Grass | As Shown | As Shown | As Shown |

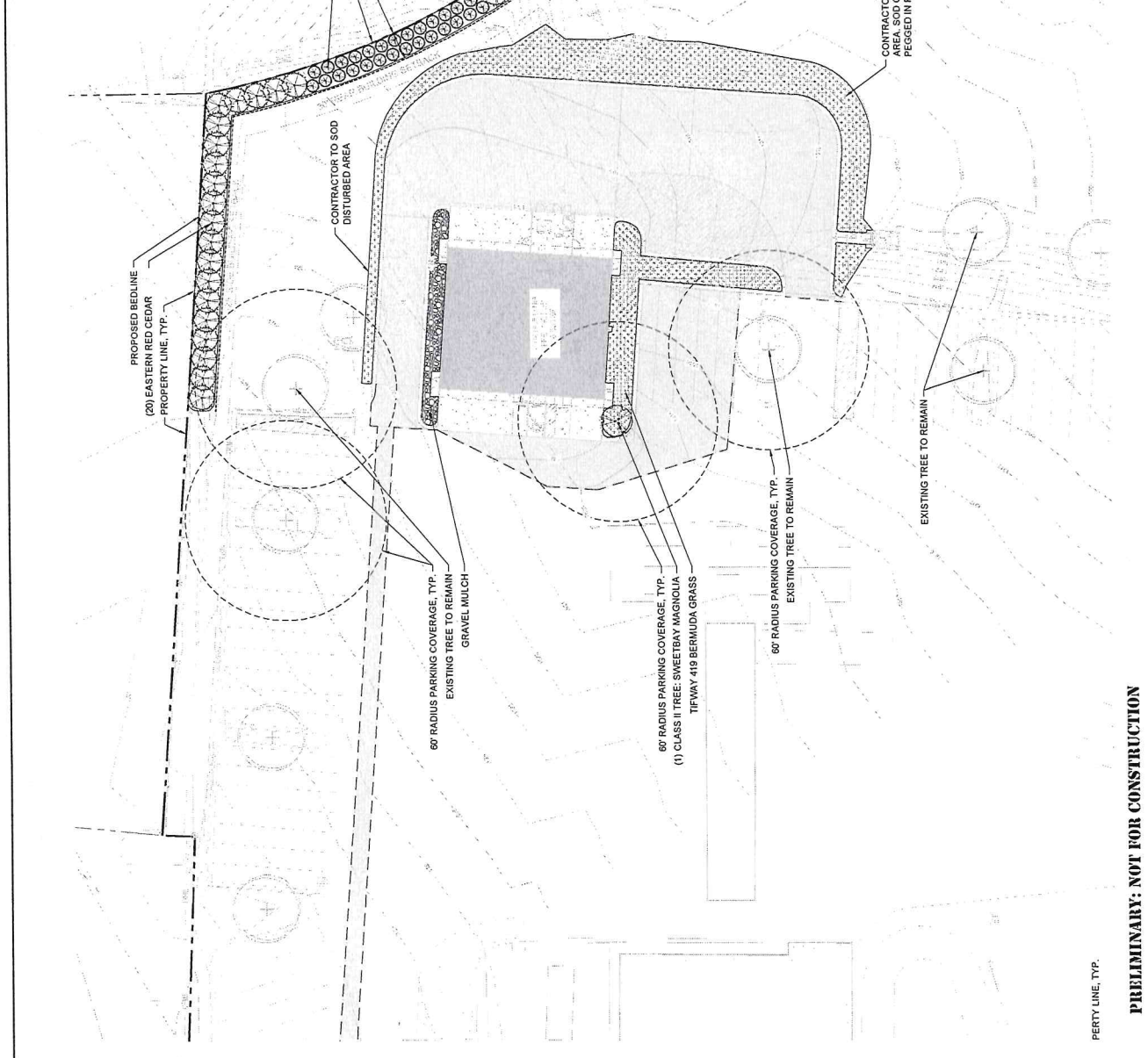
GROUND COVERS

- 3000 sq ft Gravel Mulch
- 1000 sq ft Gravel Mulch

LANDSCAPING GUARANTEE
 I (WE) HEREBY GUARANTEE TO THE TOWN OF MONTAGLE THAT THE PLANT MATERIALS SHOWN ON THIS PLAN WILL BE AVAILABLE TO OCCUR IN THE AREA OF THE PROJECT WITHIN THE SPECIFIED OCCURRENCE PERIOD. I (WE) WILL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND GUARANTEE TO BE RESPONSIBLE FOR THE NEW GUARANTEE WILL BECOME THE RESPONSIBILITY OF THE NEW OWNER.

CERTIFICATION OF ZONING COMPLIANCE
 THIS SITE PLAN AND THE DEVELOPMENT SHOWN HEREON HAS BEEN REVIEWED BY THE MONTAGLE ZONING DEPARTMENT AND IS IN COMPLIANCE WITH THE ZONING ORDINANCE AND HAS BEEN APPROVED BY THE MONTAGLE PLANNING COMMISSION ON THE DATE INDICATED.

SECRETARY, MONTAGLE REGIONAL PLANNING COMMISSION
 DATE



811
 Know what's below.
 Call before you dig.

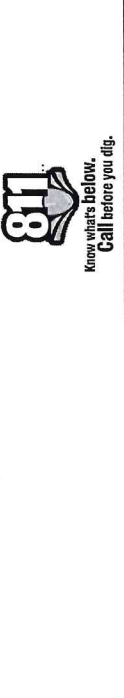
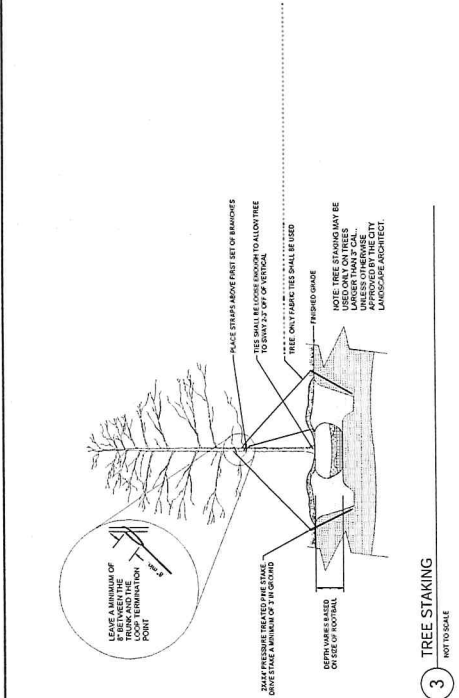
GRAPHIC SCALE (FEET)
 0 15 30

PRELIMINARY: NOT FOR CONSTRUCTION

PROPERTY LINE, TYP.

Drawing name: K:\MKTG\LDL\0000000000 - TL White\ST1011500009 - L1 Landscape Plan.dwg L1-00 Jun 20 2021 3:55pm By: Justin Bidwell

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1 B&B TREE PLANTING
NOT TO SCALE

DO NOT CUT CENTRAL LEADER

TOP OF ROOT BALL LEFT FREE OF ALL BUT A LAYER OF MOIST COFFEE TABLE MULD OR SOIL AGAINST TRUNK

FLARE OF TRUNK VISIBLE ABOVE SOIL LINE

MULCH LAYER AS SPECIFIED IN LANDSCAPE NOTES

FRISHED GRADE

DEPTH WARES SIZED TO SIZE OF FOOTBALL

ROOT BALL RESTS ON EXISTING OR PREPARED SOIL TO PREVENT SETTLING

MIN. 24" FOOTBALL DIAMETER

PLANTING SOIL SEE SECTION 100 IN LANDSCAPE NOTES

UNDISTURBED SOIL

2 EVERGREEN TREE PLANTING
NOT TO SCALE

DO NOT CUT CENTRAL LEADER

TOP OF ROOT BALL LEFT FREE OF ALL BUT A LAYER OF MOIST COFFEE TABLE MULD OR SOIL AGAINST TRUNK

FLARE OF TRUNK VISIBLE ABOVE SOIL LINE

MULCH LAYER AS SPECIFIED IN LANDSCAPE NOTES

FRISHED GRADE

DEPTH WARES SIZED TO SIZE OF FOOTBALL

ROOT BALL RESTS ON EXISTING OR PREPARED SOIL TO PREVENT SETTLING

MIN. 24" FOOTBALL DIAMETER

PLANTING SOIL SEE SECTION 100 IN LANDSCAPE NOTES

UNDISTURBED SOIL

3 TREE STAKING
NOT TO SCALE

DO NOT CUT CENTRAL LEADER

PLACE STRAPS ABOVE FIRST SET OF BRANCHES

STRAPS SHALL BE LOOSE ENOUGH TO ALLOW TREE TO SWAY 2" OF VERTICAL

STRAPS SHALL BE 1" WIDE

STRAPS SHALL BE 1" APART

FRISHED GRADE

DEPTH WARES SIZED TO SIZE OF FOOTBALL

ROOT BALL RESTS ON EXISTING OR PREPARED SOIL TO PREVENT SETTLING

MIN. 24" FOOTBALL DIAMETER

PLANTING SOIL SEE SECTION 100 IN LANDSCAPE NOTES

UNDISTURBED SOIL

4 B&B TREE PLANTING ON SLOPE
NOT TO SCALE

DO NOT CUT CENTRAL LEADER

TOP OF ROOT BALL LEFT FREE OF ALL BUT A LAYER OF MOIST COFFEE TABLE MULD OR SOIL AGAINST TRUNK

FLARE OF TRUNK VISIBLE ABOVE SOIL LINE

MULCH LAYER AS SPECIFIED IN LANDSCAPE NOTES

FRISHED GRADE

DEPTH WARES SIZED TO SIZE OF FOOTBALL

ROOT BALL RESTS ON EXISTING OR PREPARED SOIL TO PREVENT SETTLING

MIN. 24" FOOTBALL DIAMETER

PLANTING SOIL SEE SECTION 100 IN LANDSCAPE NOTES

UNDISTURBED SOIL

5 CONTAINER TREE PLANTING
NOT TO SCALE

DO NOT CUT CENTRAL LEADER

TOP OF ROOT BALL LEFT FREE OF ALL BUT A LAYER OF MOIST COFFEE TABLE MULD OR SOIL AGAINST TRUNK

FLARE OF TRUNK VISIBLE ABOVE SOIL LINE

MULCH LAYER AS SPECIFIED IN LANDSCAPE NOTES

FRISHED GRADE

DEPTH WARES SIZED TO SIZE OF FOOTBALL

ROOT BALL RESTS ON EXISTING OR PREPARED SOIL TO PREVENT SETTLING

MIN. 24" FOOTBALL DIAMETER

PLANTING SOIL SEE SECTION 100 IN LANDSCAPE NOTES

UNDISTURBED SOIL

Garrett Haynes

From: Garrett Haynes
Sent: Tuesday, June 29, 2021 9:33 AM
To: kls@sadlerengineering.com
Cc: Brian Graber; Rockytoptruckstop; Russell Leonard
Subject: RE: Proposed Petro Development - Review
Attachments: Proposed Petro Site Plan - Revised (Full Packet).pdf

Mr. Sadler,

It appears that this revised site plan meets the requirements outlined in my review from June 15th, 2021. This site plan will be reviewed by the Planning Commission one week from today on July 6th, 2021 at 6:00PM at Monteagle Town Hall.

Please make sure to bring at least five copies to the meeting for review.

Thank you,

Garrett Haynes
Regional Planner
Southeast Tennessee Development District
1000 Riverfront Parkway
Chattanooga, TN 37402
O : 423.424.4245 | M: 423.827.3733 | W: SEDEV.ORG

-----Original Message-----

From: kls@sadlerengineering.com <kl@sadlerengineering.com>
Sent: Friday, June 25, 2021 1:48 PM
To: Garrett Haynes <ghaynes@sedev.org>
Subject: Re: Proposed Petro Development - Review

Garrett,
See if this addresses everything and if so I will have the owners print the five sets for the City meeting.
thanks
Kls

On 2021-06-15 09:30, Garrett Haynes wrote:

OWNER / DEVELOPER
 PETRO MONTEAGLE
 800 DIXIE LEE HIGHWAY
 MONTEAGLE, TN 37259
 529/249 2K C 207

SITE SUMMARY

| | |
|------------------------------|--------------|
| PROPOSED BUILDING | 24180 S.F. |
| STANDARD VEHICLE PARKING | 36 SPACES |
| STANDARD FUEL ISLAND PARKING | 32 SPACES |
| TRACTOR TRAILER PARKING | 117 SPACES |
| TOTAL PARKING PROVIDED | 205 SPACES |
| ESTIMATED DINING AREA | 1960 S.F. |
| TOTAL ESTIMATED EMPLOYEES | 20 PER SHIFT |

SITE ACREAGE

| | | |
|-------------------------|-------------|--------|
| GREEN AREA | 4.87 ACRES± | 35.3 % |
| BUILDING AREA | 6.3 ACRES± | 4.8 % |
| PARKING / DRIVES | 8.30 ACRES± | 60.1 % |
| TOTAL AREA | 13.8 ACRES± | 100 % |
| MAXIMUM BUILDING HEIGHT | = 28' | |

ZONED C-3
 Front Setback 40'
 Rear (Standard) 10'
 When serviced from rear 30'
 Side yard setback (Standard) 10'
 Side yard abutting a local street, alley, or cul-de-sac 25'
 Side yard abutting a major thoroughfare or collector road 35'
 Setback when abutting any residential district (applies to front, side and rear yard) 30'

This property is not subject to flood as per FIRM 470309 0080 C
 Dated February 4, 2009

NOTE:
 PROVIDE 4" WIDE x 8" TALL OPENINGS ALONG STORM WATER TO REACH THE DETENTION AREA, COORDINATE LOCATIONS WITH PARKING LOT CURB CUTS

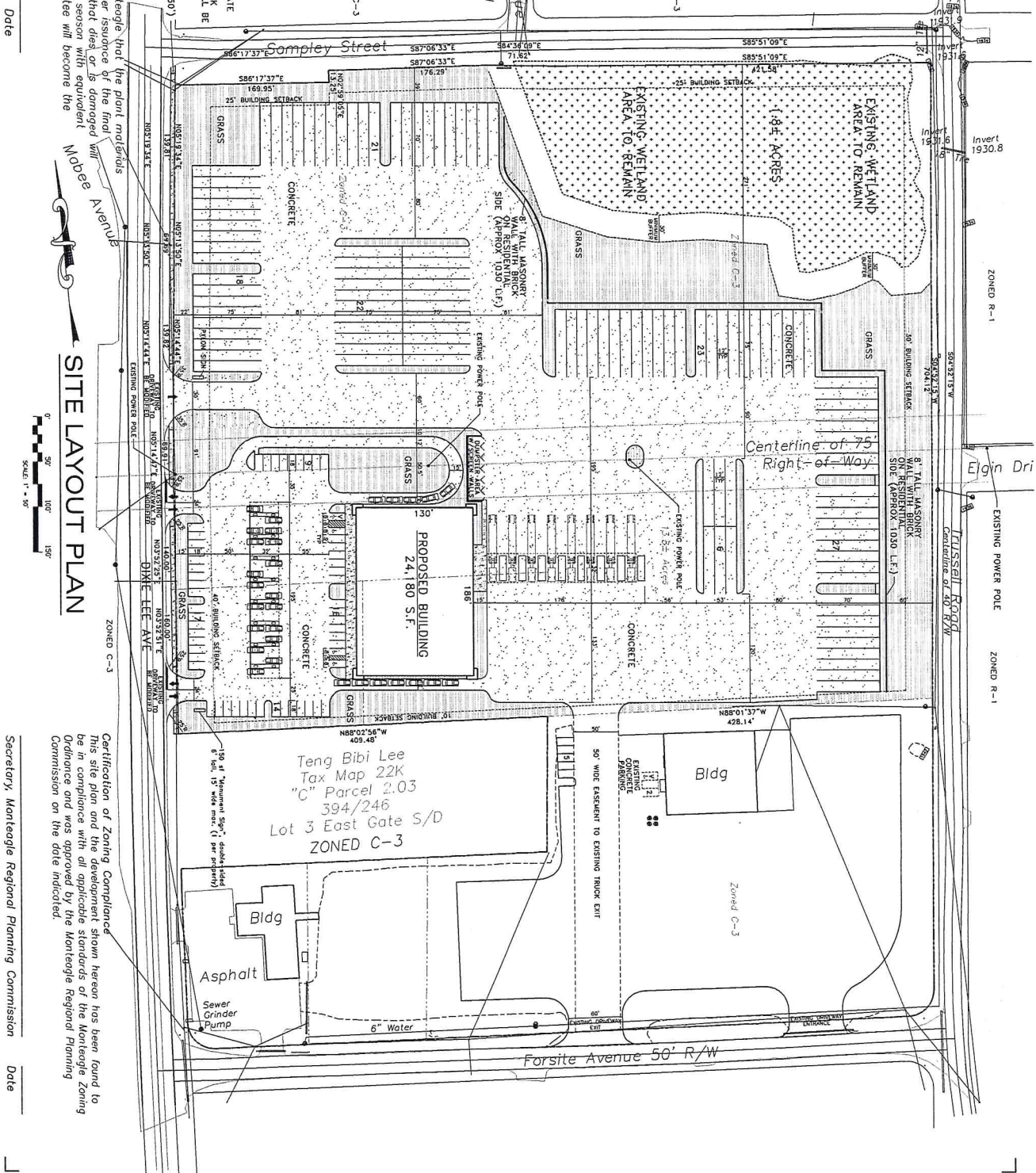


Call before you dig.

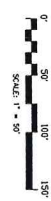
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES TO LOCATE AND MARK ALL UTILITIES PRIOR TO ANY CONSTRUCTION AND TO BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

Landscaping Guarantee
 I (we) hereby guarantee to the Town of Monteagle that shown on this siteplan will be maintained after issuance of certificate of occupancy. Any plant material that dies or is damaged be replaced in the next appropriate planting season with equivalent material. If this property is sold, this guarantee will become the responsibility of the new owner(s).

Owner _____ Date _____



SITE LAYOUT PLAN



Certification of Zoning Compliance
 This site plan and the development shown hereon has been found to be in compliance with all applicable standards of the Monteagle Zoning Ordinance and was approved by the Monteagle Regional Planning Commission on the date indicated.

Secretary, Monteagle Regional Planning Commission _____ Date _____

DRAWING NO. **C-1**

Job No. 20-000
 Date: 3/10/21
 Drawn By: K.L.S.
 Approved By: K.L.S.



SADLER & ASSOCIATES CONSULTING ENGINEERS INCORPORATED

OWNERS REPRESENTATIVE
 IDAHO • KANSAS
 OREGON • WASHINGTON
 Phone: 531-728-4851

PROPOSED DEVELOPMENT FOR:
 PETRO MONTEAGLE
 MAIN STREET & SAMPLEY STREET
 MONTEAGLE, TENNESSEE

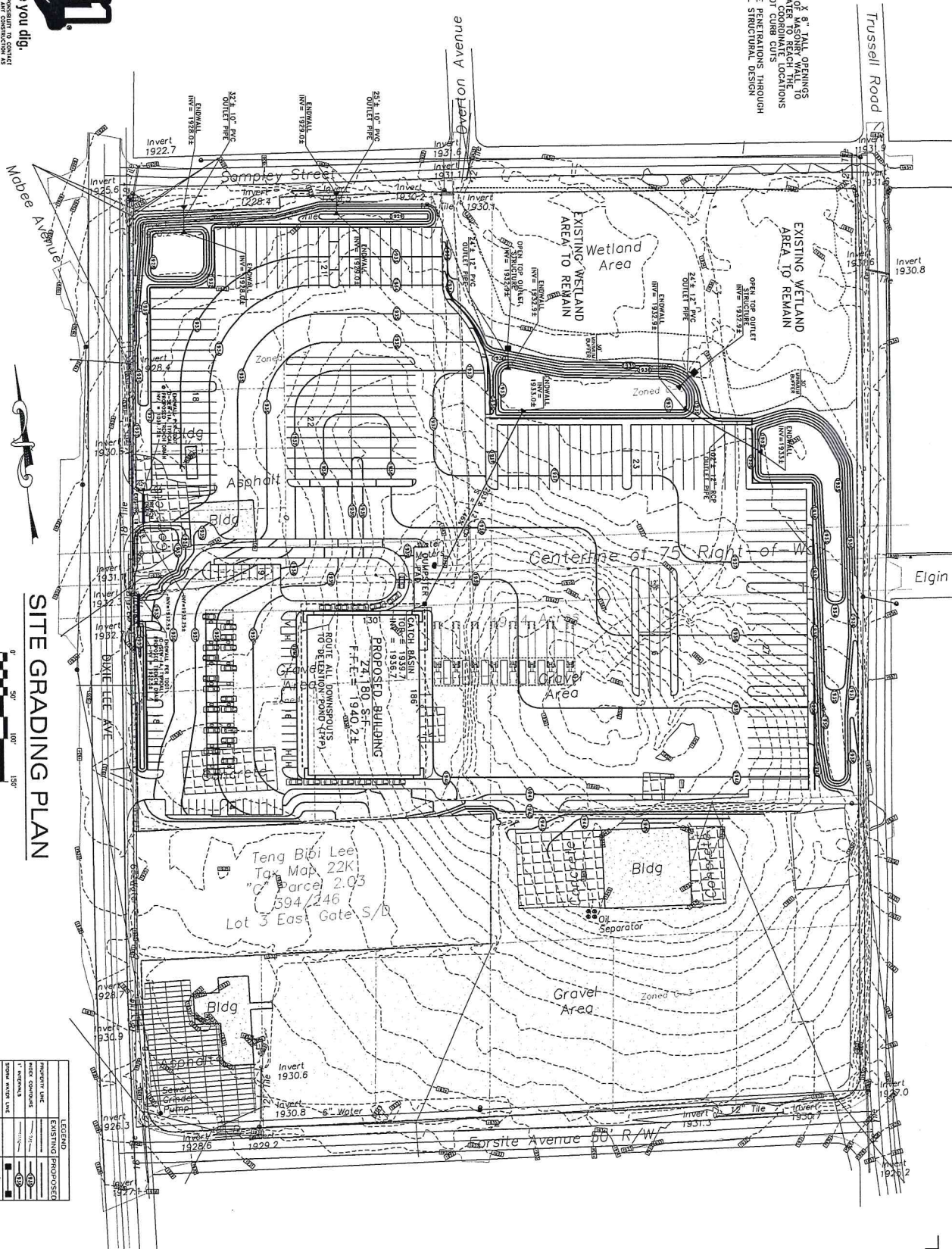
REVISIONS

| | | |
|-------|---------|-------------------|
| NO. 1 | DATE | DESCRIPTION |
| 2 | 3/10/21 | ISSUED FOR PERMIT |
| 3 | 3/10/21 | ISSUED FOR PERMIT |

NOTE:
 PROVIDE 4" WIDE X 8" TALL OPENINGS
 ALLOW STORM WATER TO REACH THE
 DETENTION AREA, COORDINATE LOCATIONS
 WITH PARKING LOT CURBS. DESIGN THROUGH
 COORDINATE WITH WALL STRUCTURAL DESIGN



Call before you dig.
 811



SITE GRADING PLAN



| LEGEND | |
|--------|------------------------------------|
| | EXISTING PROPOSED BUILDING |
| | EXISTING PROPOSED ROAD |
| | EXISTING PROPOSED STORM WATER LINE |
| | EXISTING PROPOSED SEWER LINE |
| | EXISTING PROPOSED GAS LINE |
| | EXISTING PROPOSED ELECTRIC LINE |
| | EXISTING PROPOSED WATER LINE |
| | EXISTING PROPOSED TELEPHONE LINE |
| | EXISTING PROPOSED CABLE LINE |

DRAWING NO.
C-2

Job No. 22-000
 Date: 3/10/21
 Drawn By: K.L.S.
 Approved By: K.L.S.

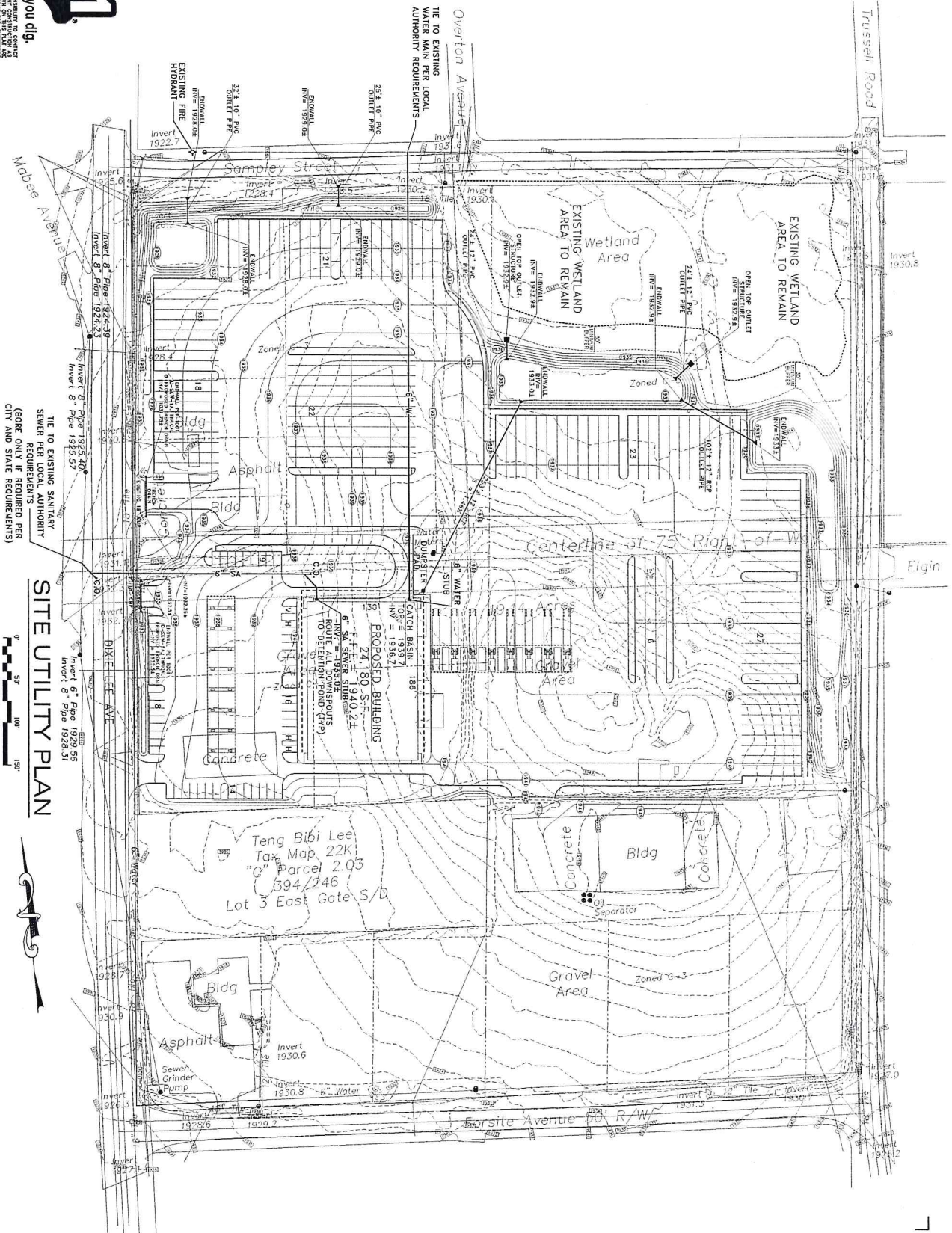


SADLER & ASSOCIATES
 CONSULTING ENGINEERS
 INCORPORATED
 ONE TOWNHILL
 CORPORATION CENTER
 MEMPHIS, TENNESSEE 38117
 Phone: 901-728-4881

PROPOSED DEVELOPMENT FOR:
 PETRO MONTEAGLE
 MAIN STREET & SAMPLEY STREET
 MONTEAGLE, TENNESSEE

| REVISIONS | |
|------------|-------------------|
| NO. DATE | DESCRIPTION |
| 1 10/26/21 | ISSUE FOR PERMITS |
| 2 03/10/21 | REVISED PERMITS |
| 3 03/10/21 | REVISED PERMITS |

811
 Call before you dig.
 It is the contractor's responsibility to determine the location and depth of all underground utilities. The contractor shall be responsible for any damage to existing utilities. The contractor shall be responsible for any damage to existing utilities. The contractor shall be responsible for any damage to existing utilities.



TIE TO EXISTING SANITARY SEWER PER LOCAL AUTHORITY REQUIREMENTS (BORE ONLY IF REQUIRED PER CITY AND STATE REQUIREMENTS)

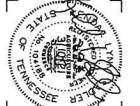
TIE TO EXISTING WATER MAIN PER LOCAL AUTHORITY REQUIREMENTS

SITE UTILITY PLAN



DRAWING NO.
C-3

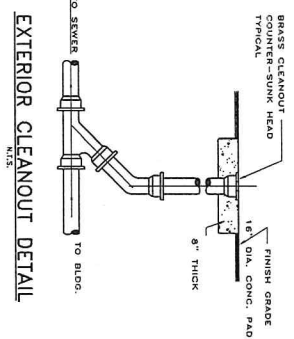
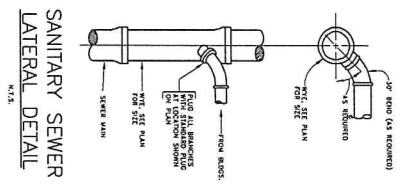
Job No. 20-000
 Date 3/10/21
 Drawn By K.L.S.
 Approved By K.L.S.



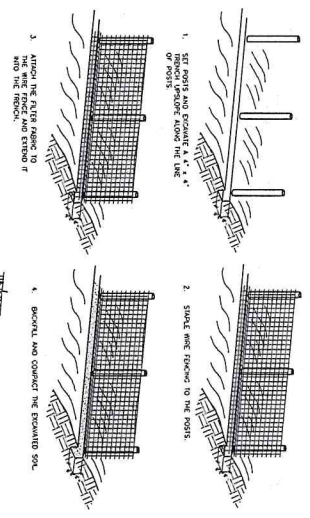
SADLER & ASSOCIATES CONSULTING ENGINEERS INCORPORATED
 CIVIL, ENVIRONMENTAL, WATER & PLANNING CONSULTING ENGINEERS
 Phone 311-728-4881

PROPOSED DEVELOPMENT FOR:
 PETRO MONTEAGLE
 MAIN STREET & SAMPLEY STREET
 MONTEAGLE, TENNESSEE

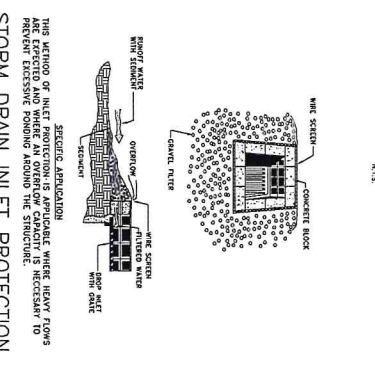
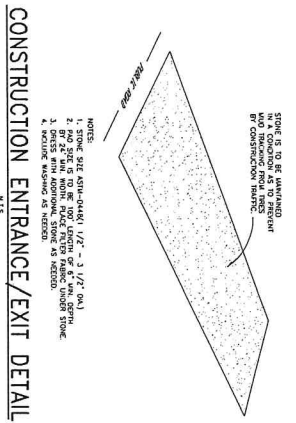
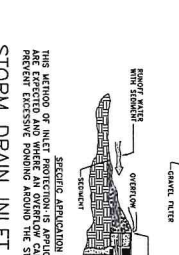
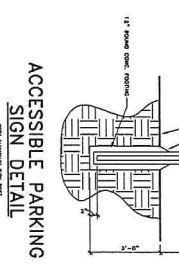
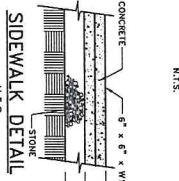
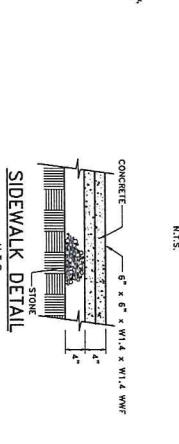
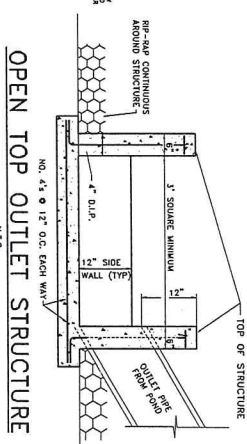
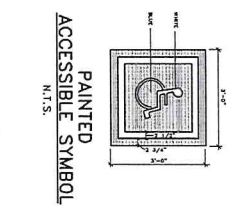
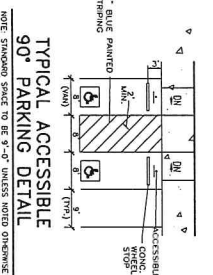
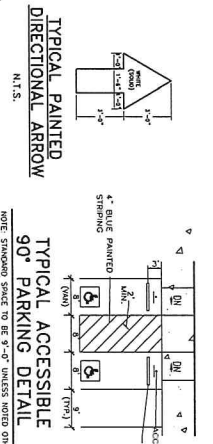
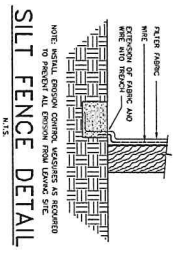
| NO. | DATE | REVISIONS |
|-----|---------|--------------------|
| 1 | 3/10/21 | ISSUED FOR PERMITS |
| 2 | 3/10/21 | REVISION 1 |
| 3 | 3/10/21 | REVISION 2 |



NOTE
ALL WORK SHALL COMPLY WITH THE LATEST VERSION OF THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK FOR BEST MANAGEMENT PRACTICES.



- EROSION CONTROL NOTES**
- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NOTED FOR SPECIFIC AREAS.
 - SEEDING AND MULCHING SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - ALL GRASS SEEDS INCLUDING SLOPES ARE TO BE MULCHED AND SEEDING AS SOON AS POSSIBLE AFTER GRADING IS COMPLETED.
 - CUT AND FILL SLOPES ARE NOT TO EXCEED 3:1 UNLESS OTHERWISE NOTED.
 - CONSTRUCT EROSION CONTROL DEVICES AS SHOWN AND WHERE SHOWN.
 - ALL NEW STRUCTURES AND EXISTING STRUCTURES SHALL HAVE ALL DIMENSIONS AND LOCATIONS OF TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE SUBJECT TO INSPECTION BY THE DISTRICT ENGINEER AND WATER POLLUTION CONTROL DEVICES ARE TO BE REMOVED AS SOON AS NO LONGER REQUIRED FOR THE INTENDED PURPOSE.
 - SILT FENCES ARE TO BE REPLACED WHEN EFFECTIVENESS IS SIGNIFICANTLY REDUCED AND AS DETERMINED BY THE DISTRICT ENGINEER.
 - CONSTRUCTION AND SPECIFICATIONS SET BY THE DISTRICT ENGINEER OR PUBLIC WORKS SUPERVISOR MANAGEMENT.



PROPOSED DEVELOPMENT FOR:
PETRO MONTEAGLE
MAIN STREET & SAMPLEY STREET
MONTEAGLE, TENNESSEE

SADLER & ASSOCIATES CONSULTING ENGINEERS INCORPORATED
ONE S. DUNDASVILLE
BANKING & FINANCIAL
CONSTRUCTION MANAGEMENT
Phone: 331-728-4981



DRAWING NO. C-4
JOB NO. 20-000
DATE: 3/10/21
DRAWN BY: K.L.S.
APPROVED BY: K.L.S.

| NO. | DATE | REVISIONS |
|-----|---------|------------------|
| 1 | 3/10/21 | ISSUE FOR PERMIT |
| 2 | 3/10/21 | REVISED 5/15/21 |
| 3 | 3/10/21 | REVISED 6/15/21 |

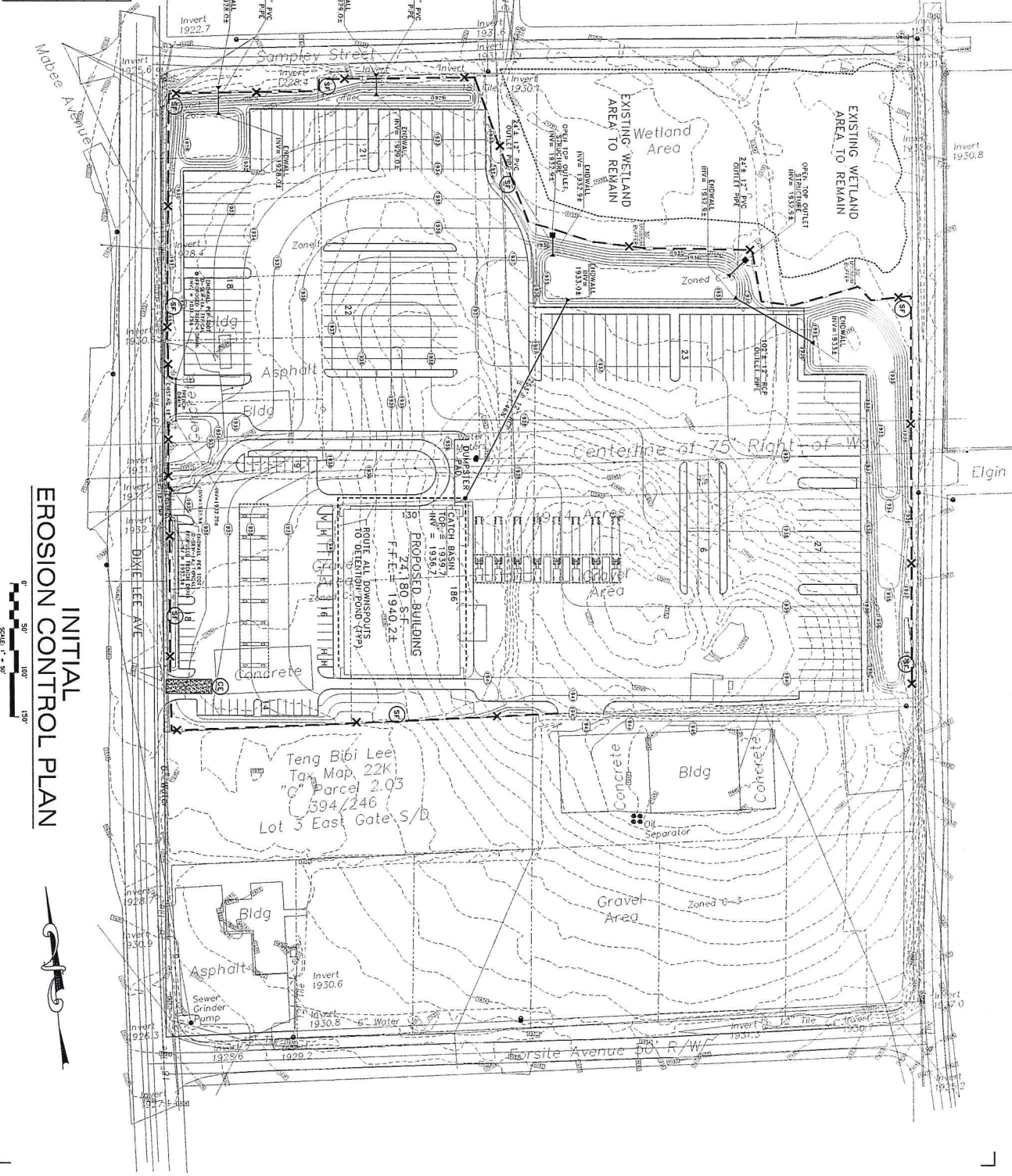
| | |
|------|--|
| (SF) | SOIL EROSION AND SEDIMENT CONTROL |
| (CE) | CONSTRUCTION EXIT |
| (CF) | INITIAL EROSION CONTROL MEASURES SHALL INCLUDE SLOPE STABILIZATION AND CONSTRUCTION EXIT |

DISTURBED ACRES = 10.88 ACRES

811
Call before you dig.

If the contractor is responsible to contact the utility companies to determine the location of utility lines, the contractor shall be responsible for the location of all underground utilities.

| TEMPORARY COVER SEEDING MIXTURES | |
|----------------------------------|------------|
| NO. 1 | GRASS SEED |
| NO. 2 | GRASS SEED |
| NO. 3 | GRASS SEED |
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| NO. 98 | GRASS SEED |
| NO. 99 | GRASS SEED |
| NO. 100 | GRASS SEED |



INITIAL EROSION CONTROL PLAN



DRAWING NO.
ECP-1

JOB NO. 20-000
DATE: 3/10/21
DRAWN BY: K.L.S.
APPROVED BY: K.L.S.



SADLER & ASSOCIATES CONSULTING ENGINEERS INCORPORATED
ONE S. BIRMINGHAM BLVD.
BIRMINGHAM, ALABAMA 35203
PHONE: 313-782-4881

PROPOSED DEVELOPMENT FOR:
PETRO MONTEAGLE
MAIN STREET & SAMPLEY STREET
MONTEAGLE, TENNESSEE

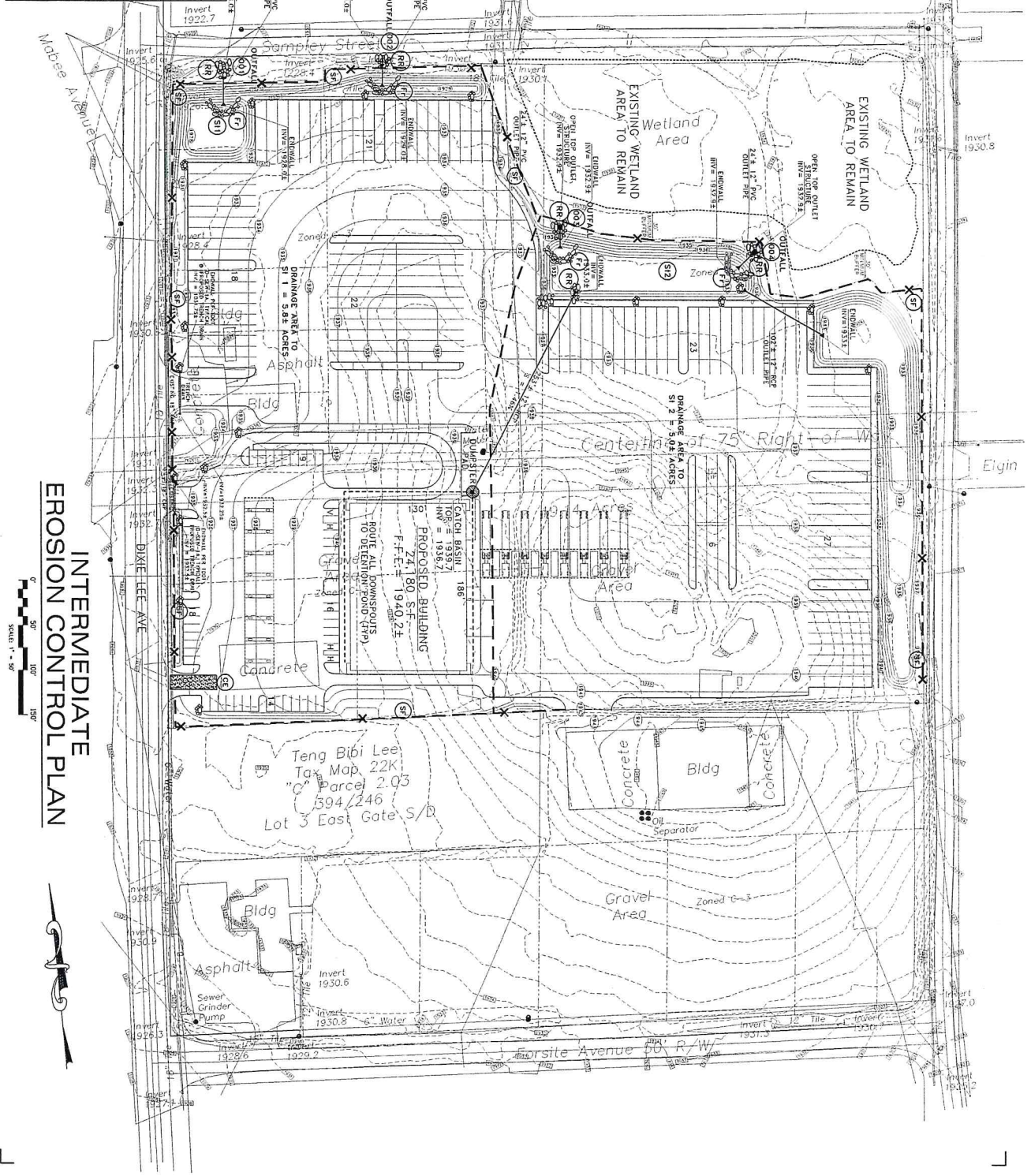
| NO. | REVISIONS |
|-----|-----------------|
| 1 | PRELIMINARY |
| 2 | REVISED 3/10/21 |
| 3 | REVISED 6/15/21 |

| TEMPORARY COVER SEEDING MIXTURES | |
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| NO. 1 | GRASS SEED |
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| NO. 97 | GRASS SEED |
| NO. 98 | GRASS SEED |
| NO. 99 | GRASS SEED |
| NO. 100 | GRASS SEED |

811
Call before you dig.

IF YOU ARE NOT SURE OF THE LOCATION OF ANY UTILITIES, CALL 811 TO LOCATE THEM. CALLING 811 WILL HELP YOU AVOID DAMAGE TO UTILITIES AND YOURSELF. CALLING 811 IS FREE AND AVAILABLE 24 HOURS A DAY. CALLING 811 WILL HELP YOU AVOID DAMAGE TO UTILITIES AND YOURSELF. CALLING 811 IS FREE AND AVAILABLE 24 HOURS A DAY.

| SOIL EROSION AND SEDIMENT CONTROL LEGEND | |
|--|-------------------|
| (SC) | CONSTRUCTION EXIT |
| (SF) | STORMWATER BASIN |
| (IP) | INLET PROTECTION |
| (FR) | FILTER RING |
| (RR) | RIP-AP |
| (SR) | SEQUENT TAP |



INTERMEDIATE EROSION CONTROL PLAN



DRAWING NO.
ECP-2

Job No. 20-000
Date: 3/10/21
Drawn By: K.L.S.
Approved By: K.L.S.



SADLER & ASSOCIATES
CONSULTING ENGINEERS
INCORPORATED

ONE S. DOWNSIDE
NATIVE PLANNING
CONSTRUCTION MANAGEMENT
Phone: 313-728-4881

PROPOSED DEVELOPMENT FOR:
PETRO MONTEAGLE
MAIN STREET & SAMPLEY STREET
MONTEAGLE, TENNESSEE

| REVISIONS | |
|-----------|---------------|
| NO. 1 | DATE: 3/10/21 |
| NO. 2 | DATE: 3/10/21 |
| NO. 3 | DATE: 3/10/21 |

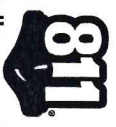
TEMPORARY COVER SEEDING MIXTURES

| | | |
|--------|-----------------|-----|
| NO. 1 | GRASS SEED | 50% |
| NO. 2 | LEGUMINOUS SEED | 50% |
| NO. 3 | GRASS SEED | 50% |
| NO. 4 | LEGUMINOUS SEED | 50% |
| NO. 5 | GRASS SEED | 50% |
| NO. 6 | LEGUMINOUS SEED | 50% |
| NO. 7 | GRASS SEED | 50% |
| NO. 8 | LEGUMINOUS SEED | 50% |
| NO. 9 | GRASS SEED | 50% |
| NO. 10 | LEGUMINOUS SEED | 50% |

PERMANENT COVER SEEDING MIXTURES

| | | |
|--------|-----------------|-----|
| NO. 1 | GRASS SEED | 50% |
| NO. 2 | LEGUMINOUS SEED | 50% |
| NO. 3 | GRASS SEED | 50% |
| NO. 4 | LEGUMINOUS SEED | 50% |
| NO. 5 | GRASS SEED | 50% |
| NO. 6 | LEGUMINOUS SEED | 50% |
| NO. 7 | GRASS SEED | 50% |
| NO. 8 | LEGUMINOUS SEED | 50% |
| NO. 9 | GRASS SEED | 50% |
| NO. 10 | LEGUMINOUS SEED | 50% |

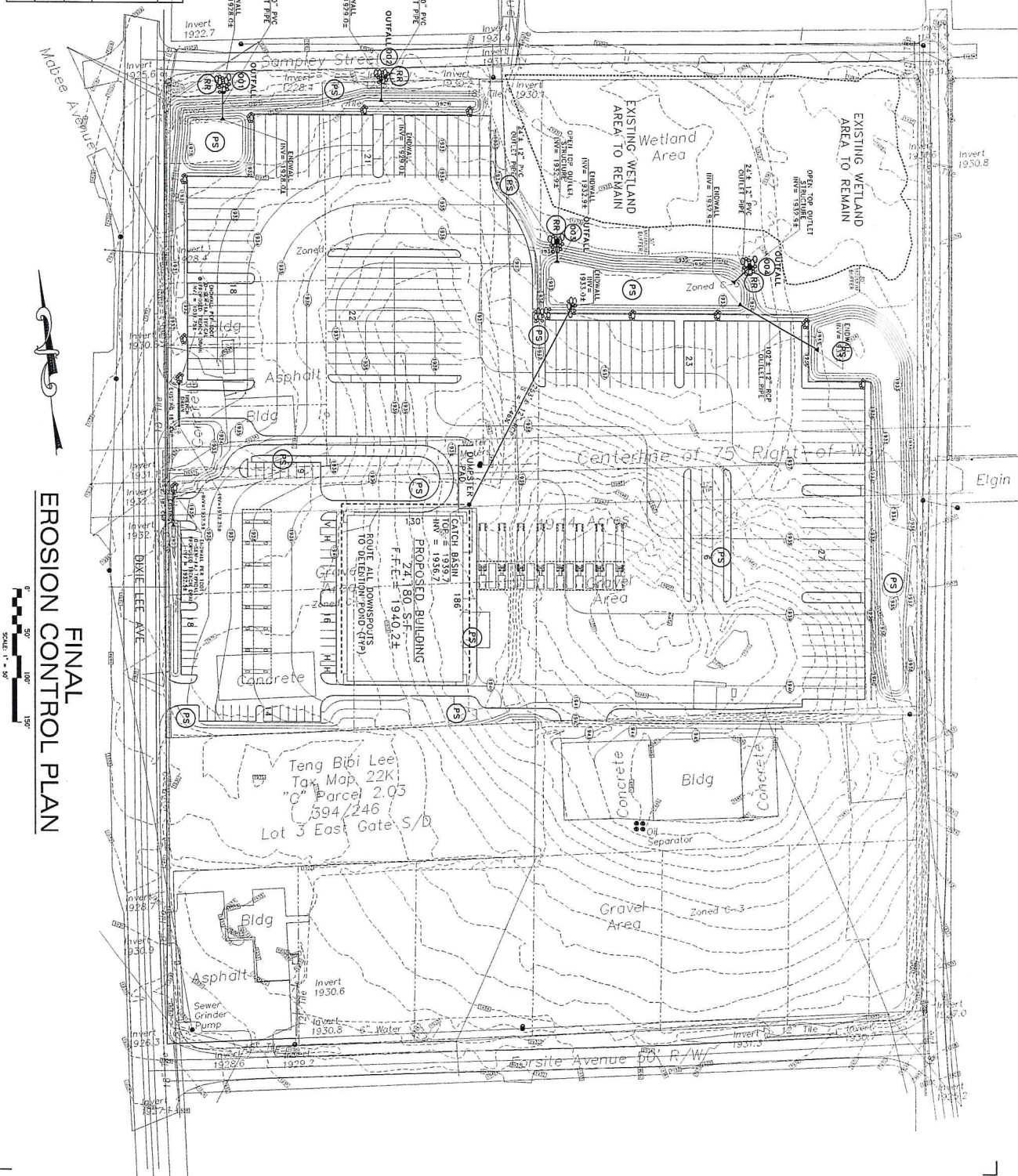
NOTE: SEEDING MIXTURES SHALL BE APPLIED AT A RATE OF 100 LBS PER ACRE FOR THE FIRST YEAR AND 50 LBS PER ACRE FOR THE SECOND YEAR. SEEDING SHALL BE COMPLETED WITHIN 14 DAYS OF THE END OF CONSTRUCTION AND MAINTAINED FOR A PERIOD OF 180 DAYS.



Call before you dig.
 It is the responsibility of the contractor to contact the utility companies to determine the location of all underground utilities before excavation. The contractor shall be responsible for the protection of all utilities shown on this plan.

SOIL EROSION AND SEDIMENT CONTROL LEGEND

| | | | |
|------|---|------|-----------------------------------|
| (PS) | PERMANENT STABILIZATION FOR ALL DISTURBED AREAS TO BE GRASSED | (S) | SOIL EROSION AND SEDIMENT CONTROL |
| (RR) | RR-RAP | (RR) | RR-RAP |



FINAL EROSION CONTROL PLAN



DRAWING NO.
ECP-3

Job No. 20-000
 Date: 3/10/21
 Drawn By: K.L.S.
 Approved By: K.L.S.



SADLER & ASSOCIATES CONSULTING ENGINEERS INCORPORATED
 ONE S. GARDNER BLVD.
 MEMPHIS, TENNESSEE 38102
 PHONE: 901-528-4881

PROPOSED DEVELOPMENT FOR:
 PETRO MONTEAGLE
 MAIN STREET & SAMPLEY STREET
 MONTEAGLE, TENNESSEE

REVISIONS

| | | |
|----------|---------|------------------|
| NO. DATE | BY | DESCRIPTION |
| 1 | 3/10/21 | ISSUED 3/10/21 |
| 2 | 3/10/21 | REVISION 6/15/21 |

SITE SUMMARY

| | |
|--------------------------------|-----------------|
| PROPOSED BUILDING | 24,180 S.F. |
| STANDARD VEHICLE PARKING | 56 SPACES |
| TRACTOR TRAILER PARKING | 117 SPACES |
| SITE ACREAGE | 13.8 ACRES |
| GREEN AREA | 4.87 ACRES± |
| BUILDING AREA | 63 ACRES± |
| PARKING / DRIVES | 8.30 ACRES± |
| TOTAL AREA | 13.8 ACRES± |
| MAXIMUM BUILDING HEIGHT | = 28' ZONED C-3 |

C-3
 Front Setback 40'
 Rear (Standard) 10'
 When served from rear 30'
 Side yard abutment (Standard) 10'
 Side yard abutment (Standard) Street,
 alley, or cut-deck 25'
 Side yard abutting a major
 thoroughfare or collector road 35'
 Setback when abutting any
 residential district (applies to front,
 side, and rear yard) 30'

811
 Overton Avenue

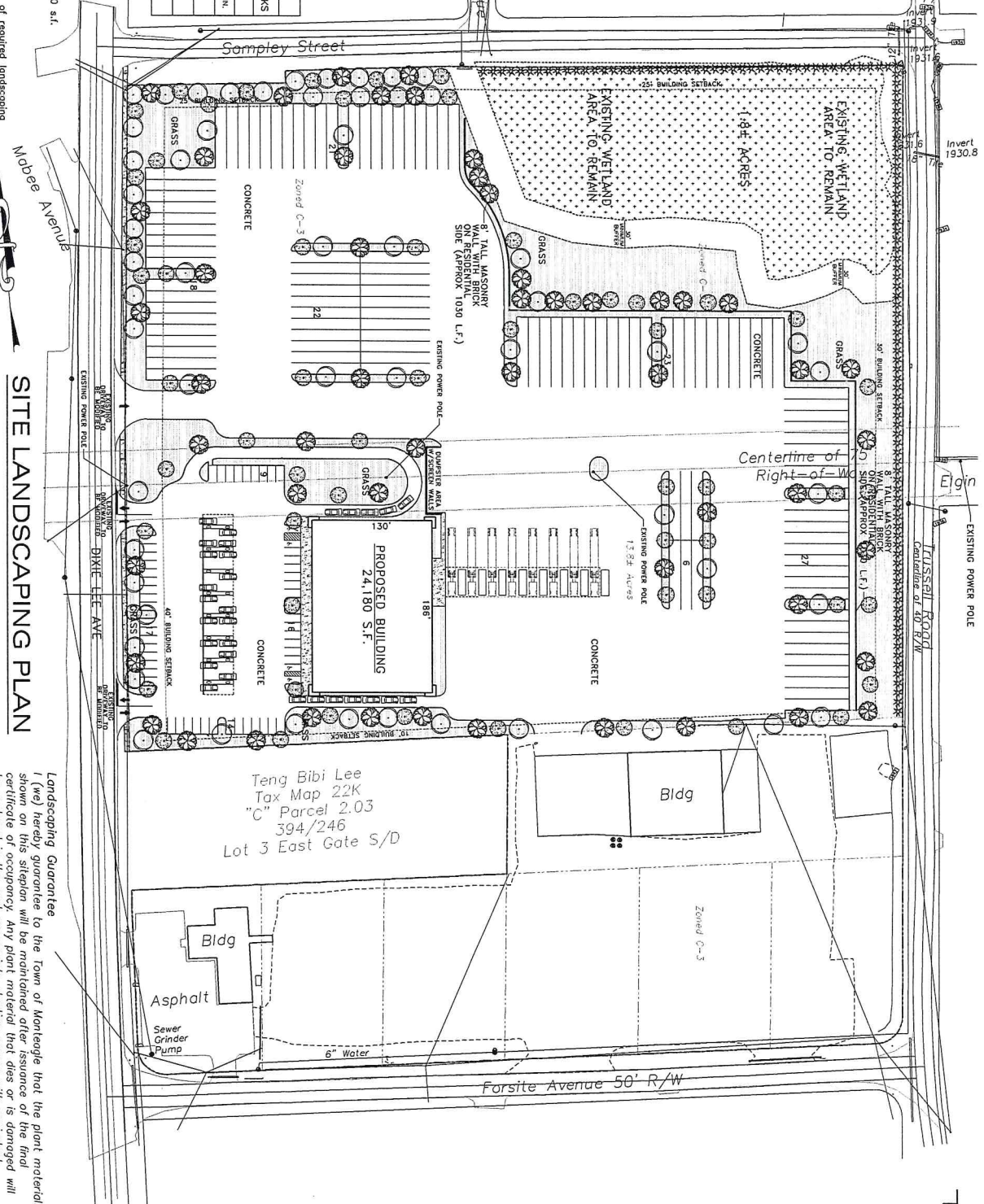
Call before you dig.

IF YOU ARE CONSIDERING EXCAVATING TO CONDUCT ANY WORK, YOU MUST CALL 811 TO LOCATE ALL UTILITIES IN THE AREA. CALLING 811 WILL PROVIDE YOU WITH THE LOCATION OF ALL UTILITIES (GAS, WATER, SEWER, ELECTRIC, TELEPHONE, CABLE, AND FIBER) IN YOUR AREA. CALLING 811 IS FREE AND HELPS PREVENT ACCIDENTS AND DAMAGE TO UTILITIES.

PLANT / MATERIAL SCHEDULE

| QUANTITY | KEY | COMMON NAME | SIZE/REMARKS |
|----------|-----|----------------|----------------|
| 116 | ESG | AMERICAN HOLLY | 6" HEIGHT MIN. |
| 32 | SMR | SUGAR MAPLE | 2" CAL. |
| 58 | CMR | CORNER MAPLE | 1 1/2" CAL. |
| 53 | RD | RD BIRD | 1 1/2" CAL. |

GENERAL LANDSCAPING REQUIREMENTS
 20% FRONT/SIDE AREA = 312500 X 2 = 62500 S.F.
 62500 / 3500 = 18 CLASS I or CLASS II TREES
PARKING LOT LANDSCAPING
 36155 / 230 = 156 TREES
 TOTAL CLASS I / CLASS II TREES REQUIRED = 163 TREES, 163 PROVIDED
 116 TOTAL EVERGREEN SCREENING TREES REQUIRED = 116 EVERGREEN TREES, 116 PROVIDED



SITE LANDSCAPING PLAN

Landscaping Guarantee
 I (we) hereby guarantee to the Town of Monteagle that the plant materials shown on this siteplan will be maintained after issuance of the final certificate of occupancy. Any plant material that dies or is damaged will be replaced in the next appropriate planting season with equivalent material. If this property is sold, this guarantee will become the responsibility of the new owner(s).

Owner _____ Date _____

Job No. 20-000
 Date: 3/10/21
 Drawn By: K.L.S.
 Approved By: K.L.S.

DRAWING NO. **L-1**

SADLER & ASSOCIATES CONSULTING ENGINEERS INCORPORATED

ONE S. ENVIRONMENTAL
 BIRMINGHAM, ALABAMA 35202
 PHONE: 205-988-4881

PROPOSED DEVELOPMENT FOR:
 PETRO MONTEAGLE
 MAIN STREET & SAMPLEY STREET
 MONTEAGLE, TENNESSEE

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|---------|-------------------|
| 1 | 3/10/21 | ISSUED FOR PERMIT |
| 2 | 3/10/21 | REVISION 5/15/21 |

Garrett Haynes

From: Garrett Haynes
Sent: Monday, April 26, 2021 10:32 AM
To: Alan Wolfe
Subject: RE: Proposed Monteagle Petro

Understood, thank you.

Garrett Haynes
Regional Planner
Southeast Tennessee Development District
1000 Riverfront Parkway
Chattanooga, TN 37402
O : 423.424.4245 | M: 423.827.3733 | W: SEDEV.ORG

From: Alan Wolfe <Alan.Wolfe@tn.gov>
Sent: Monday, April 26, 2021 10:13 AM
To: Garrett Haynes <ghaynes@sedev.org>
Subject: RE: Proposed Monteagle Petro

I don't think the changes to the impact study will actually impact the site plan itself.



#

D adq# r ch #H# #h j r q# #u i i# d q d j n u #
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From: Garrett Haynes <ghaynes@sedev.org>
Sent: Monday, April 26, 2021 8:57 AM
To: Alan Wolfe <Alan.Wolfe@tn.gov>
Subject: [EXTERNAL] RE: Proposed Monteagle Petro

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Ah, okay. Thanks.

Do you feel that these additional details are impactful enough to require a revised site plan?
Or do you feel that your previous letter and follow up email still apply?

Garrett Haynes
Regional Planner
Southeast Tennessee Development District
1000 Riverfront Parkway
Chattanooga, TN 37402
O : 423.424.4245 | M: 423.827.3733 | W: SEDEV.ORG

From: Alan Wolfe <Alan.Wolfe@tn.gov>
Sent: Monday, April 26, 2021 8:45 AM
To: Garrett Haynes <ghaynes@sedev.org>
Subject: RE: Proposed Monteagle Petro

We have had discussions with the engineer who prepared the Traffic Impact Study, asking for some additional/updated information in the study. And, we will still need to work out a few engineering details in the site plan with that engineer. So, thus far, we don't have anything that has been approved by TDOT. However, I expect those engineers will get these issues resolved fairly soon. One or more of the locals have contacted Nashville in opposition to this proposed project but, as we've tried to explain to them, TDOT is not a zoning/planning agency. We don't decide what types of developments can come to a city or county. That isn't our job.

So, as of now, we're awaiting an updated Traffic Impact Study regarding the project.



#

Garrett Haynes

From: Alan Wolfe <Alan.Wolfe@tn.gov>
Sent: Wednesday, March 31, 2021 11:54 AM
To: Garrett Haynes
Mayor Rodman; Sam Elliott
Cc: Mayor Rodman; Sam Elliott
Subject: RE: [EXTERNAL] C1-PETROMONTEAGLE-032621.pdf

Garrett,
Sorry for any confusion. It was my understanding last week that something else was going to be submitted, but after further discussions today with the engineer, this is the concept they decided on.



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From: Garrett Haynes <ghaynes@sedev.org>
Sent: Wednesday, March 31, 2021 11:48 AM
To: Alan Wolfe <Alan.Wolfe@tn.gov>
Cc: Mayor Rodman <rodmanmayor@benlomand.net>; Sam Elliott <selllott@gearhiserpeters.com>
Subject: RE: [EXTERNAL] C1-PETROMONTEAGLE-032621.pdf

Just so I understand this correctly, you're saying that the letter sent last week and this follow up email should suffice for TDOT conceptual approval of the presented site plan?

From our phone call on Friday it sounded like there was more to work out between RBT and TDOT which may require a reconfiguration of the site plan, and ultimately a resubmittal of the plans.

As long as we have confirmation from you that TDOT is willing to grant access per the site plan presented by Mr. Meyers yesterday afternoon, we will proceed with the Planning Commission reviewing the presented site plan.

Thank you,

Garrett Haynes
Regional Planner
Southeast Tennessee Development District
1000 Riverfront Parkway
Chattanooga, TN 37402
O : 423.424.4245 | M: 423.827.3733 | W: SEDEV.ORG

From: Alan Wolfe <Alan.Wolfe@tn.gov>
Sent: Wednesday, March 31, 2021 11:34 AM
To: Garrett Haynes <ghaynes@sedev.org>
Cc: Landon T. Castleberry <Landon.T.Castleberry@tn.gov>; Zach Johnson <Zach.Johnson@tn.gov>; Mayor Rodman <rodmanmayor@benlomand.net>
Subject: RE: [EXTERNAL] C1-PETROMONTEAGLE-032621.pdf

Garrett,
We sent a letter to Mayor Rodman last week and followed up with this email of conceptual approval.
I'm unsure what else you need from us at this point.



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From: Garrett Haynes <ghaynes@sedev.org>
Sent: Wednesday, March 31, 2021 11:30 AM
To: Alan Wolfe <Alan.Wolfe@tn.gov>
Cc: Landon T. Castleberry <Landon.T.Castleberry@tn.gov>; Zach Johnson <Zach.Johnson@tn.gov>; Mayor Rodman <rodmannmayor@benlomand.net>
Subject: RE: [EXTERNAL] C1-PETROMONTEAGLE-032621.pdf

Thank you, Alan.

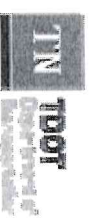
If there is more information that needs to be reviewed on your end, the RBT-Petro Site Plan has been pushed back to the May 4th Planning Commission meeting. We would like to have something in writing from TDOT prior to this meeting.

Thank you,

Garrett Haynes
Regional Planner
Southeast Tennessee Development District
1000 Riverfront Parkway
Chattanooga, TN 37402
O : 423.424.4245 | M: 423.827.3733 | W: SEDEV.ORG

From: Alan Wolfe <Alan.Wolfe@tn.gov>
Sent: Wednesday, March 31, 2021 10:40 AM
To: Mayor Rodman <rodmannmayor@benlomand.net>; meyerconsultants@gmail.com; Garrett Haynes <ghaynes@sedev.org>
Cc: Landon T. Castleberry <Landon.T.Castleberry@tn.gov>; Zach Johnson <Zach.Johnson@tn.gov>
Subject: FW: [EXTERNAL] C1-PETROMONTEAGLE-032621.pdf

Steve,
This concept appears to address the concerns that we discussed previously. There are still design details that would need to be worked out before we can issue a permit (i.e., the radius for the right-turning trucks into the site appears to be inadequate, drainage design, etc.), but the general layout seems acceptable to us. I'm not sure whether or not the Town of Monteagle will require any improvements to Foresite Avenue as a part of this development. If they do, any improvements on Foresite Avenue that involve State of Tennessee Right-of-way would also need to be addressed and included in the permit.



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From: Meyer Consultants <meyerconsultants@gmail.com>
Sent: Tuesday, March 30, 2021 4:10 PM
To: Alan Wolfe <Alan.Wolfe@tn.gov>; Landon T. Castleberry <Landon.T.Castleberry@tn.gov>
Cc: 'Brian Graber' <graberbr@gmail.com>
Subject: [EXTERNAL] C1-PETROMONTEAGLE-032621.pdf

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Hello Alan and Landon,

Attached is the revised site plan with the truck exit moved to exit onto Foresite Avenue for the PETROS fueling station proposed in Monteagle.

If you approve the revision, could you send an email to the following that says you approve what they are proposing?

Mayor Marilyn Rodman: rodmanmayor@benlomand.net

and

Garrett Haynes: ghaynes@sedev.org

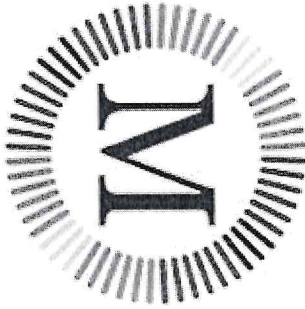
I will give you a call.

Thanks,

Steve

Stephen E. Meyer, MSc, P.E., FASCE

Meyer Transportation Consultants, Inc.
8802 Oak Valley Lane
Chattanooga, Tennessee 37421
Email: Meyerconsultants@gmail.com
Cell: 423-802-5666
www.MeyerTrans.com



CLAY BRIGHT
COMMISSIONER

STATE OF TENNESSEE
DEPARTMENT OF TRANSPORTATION
REGION 2 TRAFFIC ENGINEERING
7512 VOLKSWAGEN DRIVE
CHATTAHOOGA, TENNESSEE 37416
(423) 892-3430



BILL LEE
GOVERNOR

March 26, 2021

Mayor Marilyn Rodman
PO Box 679
Monteagle, TN 37356

**Re: Possible Driveway Connection
State Route 2, Log Mile 1.068 LT
Monteagle, Marion County**

Madam Mayor:

The DOT Regional Traffic Engineering office in Chattanooga is examining a request from July 30, 2020 to consider granting access to some vacant property along State Route 2 (Dixie Lee Highway) in Monteagle.

TDOT is amenable to granting access to the subject property. There are no legal access-control prohibitions along the property's frontage with State Route 2.

Any access onto SR 2 requires permit from TDOT. I will gladly continue to work with you, as well as the Petro engineers and representatives to make sure we all have a plan that satisfies TDOT criteria for the access.

After a site plan and Traffic Impact Study are agreed upon by the owner, the Town of Monteagle and TDOT, we can proceed with issuance of the Highway Entrance Permit. We will require a surety bond, proof of liability insurance, and a copy of the recorded deed from the owner showing ownership of the property.

If you have questions, you may reach me at 423-510-6914 or via e-mail at Zach.Johnson@tn.gov.

Best Regards,

Zach Johnson, P.E.

Assistant Regional Traffic Engineer

CC: Mr. Joe Deering (email)
File



STATE OF TENNESSEE
DEPARTMENT OF TRANSPORTATION

REGION 2 TRAFFIC ENGINEERING
7512 VOLKSWAGEN DRIVE
CHATTANOOGA, TENNESSEE 37416
(423) 892-3430

BILL LEE
GOVERNOR

CLAY BRIGHT
COMMISSIONER

August 3, 2020

Mr. Rodney Kilgore
R.B.T Enterprises
801 Dixie Lee Hwy
Monteagle, TN 37356

****NOT A PERMIT****

**Re: Possible Driveway Connection
State Route 2, Log Mile 1.068 LT
Monteagle, Marion County**

Mr. Kilgore:

The TDOT Regional Traffic Engineering office in Chattanooga has examined a request from July 30, 2020 to consider granting access to some vacant property along State Route 2 (Dixie Lee Highway) in Monteagle.

TDOT is amenable to granting access to the subject property as depicted in a preliminary plan provided by Kenny Sadler dated July 17, 2020. There are no legal access-control prohibitions along the property's frontage with State Route 2.

If access to State Route 2 is desired for this property, a permit from TDOT would be required. I will gladly work with you and your engineer to formulate a plan that satisfies TDOT criteria for the access.

After a site plan is agreed upon by both the owner and TDOT, we can proceed with issuance of the Highway Entrance Permit. We will require a surety bond, proof of liability insurance, and a copy of the recorded deed showing ownership of the property.

If you have questions, you may reach me at 423-510-6914 or via e-mail at Zach.Johnson@tn.gov.

Best Regards,

Zach Johnson, P.E.
Assistant Regional Traffic Engineer

Cc: Mr. Chad Reese, Planning Director SETD (email)
Mr. Mike Miner (email)
Mr. Jeremy Price (email)
File