

**MINUTES  
MONTEAGLE REGIONAL PLANNING COMMISSION  
AUGUST 3, 2021  
Town Hall  
16 Dixie Lee Ave  
6:00 pm**

**PRESENT:           CHAIRMAN IVA MICHELLE RUSSELL  
                          DORRAINE PARMLEY  
                          PETER BEASLEY  
                          RICHARD BLACK  
                          JANET MILLER-SCHMIDT  
                          MARILYN RODMAN**

**Mary Jane Flowers will not be on the board at this time.**

**Chairman Russell called the meeting to order at 6:00 pm. After roll call Ms. Dorraine Parmley made a motion to approve the minutes of July 6, 2021. Mr. Richard Black seconded the motion and it passed 6/0.**

**STAFF APPROVED PLAT REPORT – NONE**

**BUILDING INSPECTOR'S REPORT -- Mr. Earl Geary discussed R-3 restrictions and would like to review the zoning map to see where there could be some changes. This will be discussed next month.**

**OLD BUSINESS**

**MINUTES  
PC MEETING  
AUGUST 3, 2021  
Page Two**

**ZONING ORDINANCE AMENDMENT -- Section 1105 – Non-Conforming uses. This new ordinance will take or the Maxwell property. Mr. Richard Black made a motion to recommend this Ordinance to the City Council. Ms. Janet Miller-Schmidt seconded the motion and it passed 6/0.**

**GENE NIXON – FINAL PLAT – Mr. Nixon presented his final plat with all signatures. Ms. Marilyn Rodman made a motion to approve his final plat. Ms. Dorraine Parmley seconded the motion and it passed 6/0.**

**LAKESIDE COLLISION SITE PLAN – Mr. Christian Ojeda and Mr. Paul Cross were present. This site plan was reviewed and approved in 2020. The property was rezoned in January 2021 with the adoption of the new zoning map. It changed for C-1 to C-3. This property is currently a nonconforming use that is permitted. The property owner requested three different variances for the property in 2020. 1. Reduction of the number of required parking spaces from 25 down to 13. Which was approved. 2. Reduction in overall landscaping from 20% down to 12% which was approved. 3. Reduction in street yard from 10' to 5' which was not approved. The owner presented a site plan at the July 6<sup>th</sup> meeting requesting the board to consider an alternative landscaping plan and clarification about the required**

**MINUTES  
PC MEETING  
AUGUST 3, 2021  
Page Three**

fencing materials. Mr. Geary mentioned that the materials of the fence being built does not meet the requirements of a screening fence. Mr. Ojeda has spent 10,000 on the fence thinking it was approved. The board asked that Mr. Garrett Haynes contact the city attorney and meet with all involved to try to come up with a solution for Mr. Ojeda. Mr. Haynes asked for a revised site plan. Mr. Paul Cross did not agree and will do this under protest.

**DEAN LAY** – An application for a zoning map amendment has been submitted for a property located along West Main Street. Mr. Lay is looking to be able to site apartments and/or condominiums on the property, which is prohibited in C-2 zoning. The property under review is composed of seven different properties totaling approximately 3.25 acres. Mr. Lay would like the board to look at changing the language in C-2 to allow for housing. He is about a year out to start the project. The board will review this.

**SOUTHERN TIRE MART** – They would like to put up a 6ft. tall 22ft. wide gate off Trussell Road for maintenance access. After discussion Mr. Marilyn Rodman excused herself from voting on this project. Ms. Dorraine Parmley made a motion to this gate with mesh screening. Mr. Richard Black seconded the motion and it passed 5/0.

**MINUTES  
PC MEETING  
AUGUST 3, 2021  
Page Four**


**ATKINSON PROJECT – This has been withdrawn.**

**There being no other business the meeting adjourned at 8:00  
pm.**

**Respectfully Submitted,**



**Chairman Iva M Russell**



**City Recorder, Debbie Taylor**

# Monteagle Regional Planning Commission Minutes

Tuesday, August 3, 2021, 6:00 pm CST

Town Hall  
24 Dixie Lee Avenue  
Monteagle, TN 37356

- I. **Call to Order** - Iva Michelle Russell, Chairman, called the meeting of the Monteagle Regional Planning Commission to order at 6:00 pm sharp. Iva Michelle called roll: Present: Richard Black, Vice-Chairman, Janet Miller-Schmidt, Secretary, Dorraine Pamerly, Peter Beasley and Marilyn Rodman, Mayor. Iva Michelle told those present at the Planning Commission meeting that Mary Jane Flowers had resigned from the Commission effective immediately.
  
- II. **Approval of Previous Meeting Minutes** -
  - A. Dorraine made a motion to approve the minutes of the July 6, 2021, meeting of the commission as distributed, seconded by Richard. The minutes were approved.
  
- III. **Staff and Community Reports** –
  - A. There were no staff approved plat reports.
  
  - B. Earl Geary, Building Inspector, explained concerns regarding R-3 zoning uses and that there is a need for single family residences in many of the areas of the town that are zoned R-3. He asked the commissioners to look into included R-1 and R-2 zoning in some of the R-3 zoned areas. There was discussion regarding condition/planning (permitted use and others) to go to the Planning Commission for 2 readings to expedite permits in the future. Garrett Hayes, Southeast Tennessee Development, was asked by Iva Michelle to draft the new Town Ordinances, adopted January 25, 2021, to include R-1 and R-2 single family residence in the R-3 Zoning.
  
- IV. **Old Business** –
  - A. Zoning Ordinance Amendment
    - A. Section 1105 – Non-Conforming Uses: the commissioners reviewed:

AN ORDINANCE TO AMEND SECTION 1105 NONCONFORMING USES AND STRUCTURES OF THE ZONING ORDINANCE OF THE TOWN OF MONTEAGLE, TENNESSEE

**WHEREAS**, the authority granted in Tennessee Code Annotated (TCA), Section 13-7-201, allows for the zoning of territory within a municipality; and

**WHEREAS**, the Monteagle Board of Mayor & Aldermen has implemented zoning districts as provided for in TCA, Section 13-7-202; and

**WHEREAS**, TCA Section 13-7-204 enables a municipality with the authority to amend zoning ordinances and zoning maps; and

**WHEREAS**, in accordance with TCA, Section 13-7-203(A), an advertised public hearing was held prior to the adoption of this zoning ordinance amendment; and

**WHEREAS**, in accordance with TCA, Section 13-7-203(B), the Monteagle Municipal-Regional Planning Commission approved and recommended the zoning amendment herein described to the Monteagle Board of Mayor and Aldermen;

**WHEREAS**, pursuant to the requirements of TCA, Section 13-7-204, the planning commission has recommended amendments to the zoning ordinance, as herein described; and

**NOW, THEREFORE, BE IT ORDAINED** by the Board of Mayor & Aldermen of the Town of Monteagle, Tennessee that the Monteagle Zoning Ordinance be and hereby is amended as shown below:

**Section 1:** Section 1105 Nonconforming Uses and Structures, Section A General Provisions for Nonconforming Uses and Structures, Subsection 6 shall be amended as follows:

6. Nonconforming buildings containing nonconforming uses shall not be structurally altered except in conformance with the provisions of this ordinance. This provision shall not be construed to prevent normal maintenance, repairs, or alterations required for structural safety.

(a) Existing nonconforming single-family dwellings which are located within the C-1, Corridor Commercial District and the C-2, Highway Commercial District may be reconstructed and used as before.

(i) This subsection is solely intended for properties that are in full compliance with municipal and building codes. Any property which has had a notice of violation within the last 24 months shall not apply.

(ii) "Reconstructed and used as before" shall constitute complete reconstruction as well as an addition or expansion to the primary structure.

(iii) Accessory structures and uses may be permitted under this section provided the structure and use is incidental and subordinate to the residential nonconforming use.

Richard made a motion, seconded by Janet to recommend the above stated resolution to the Town Council for two readings. The motion carried.

V. New Business

A. Gene Nixon – Final Plat: Iva Michelle made a motion, seconded by Dorraine to approve the subdividing of Gene Nixon's Property as presented on the final plat. The motion carried and Janet signed the plat as the Secretary of the Planning Commission.

B. Lakeside Collision – Site Plan

Property Owner-Cristian Ojeda: In February, 2020, a site plan was presented to expand the business. The two outstanding issues were parking and landscaping. No actions were taken at the February, 2020 meeting. It would be on the agenda for the April, 2020 Planning Commission meeting. At the April 7, 2020, Lakeside Collision – provided a site plan to the Planning Commission. At the June 2, 2020 Planning Commission meeting the agenda included Lakeside Collision – site plan under New Business:

B. Lakeside Collision – Site Plan

i. 2 Variances are required.

- a. Parking space variance - The site plan shows 13 parking spaces, 25 are required (Section 607).
- b. Fencing requirement variance – The plan shows fencing, but requirements per Section 715 have not been met.
- c. Landscaping Variance – Landscaping absent from site plan.

Commissioners discussed Lakeside Collision site plan: Made a motion to deny a 5 ft Street Yard Variance, seconded and **denied** the variance. Made a motion for a parking space variance, seconded and **approved** the variance. Made a motion approve a variance to allow 12% Landscaping instead of the required 20%, seconded and **approved** the variance. (Reductions in the number of required parking spaces from 25 to 13 approved; reduction in overall landscaping from 20% down to 12% approved; reduction in street yard from 10 ft to 5 ft denied).

July 6, 2021, Mr. Ojeda requested alternative landscaping and clarification of required fencing. Lakeside Collision was not on the Planning Commission July 6, 2021 meeting agenda. Garrett Haynes recommended Mr. Ojeda resubmit the site plan for review and consideration of alternative landscaping plan and fencing material.

August 3, 2021, Mr. Ojeda resubmitted a site plan and his attorney, Paul Cross, explained to the Planning Commissioners 1. The privacy fence Mr. Ojeda has purchased is marginally opaque. 2. It is a security fence as required. 3. There will be inoperable vehicles in the lot during the day, but will not be parked there after hours. 4. As of 8/3/21, the site plan has been withdrawn. The Planning Commission wants to help Lakeside Collision get a permanent business license, but further screening and landscaping

is required. It was determined that no fence is required on the back of the property because it is a wooded area. A fence is required to the property to the east, southeast of the business (next to the Funeral Home). The Commissioners requested a site plan with exact materials (screening fence and landscaping) be submitted in concurrence with the ordinance. (There needs to be landscaping on the right side of the original building. Mr. Haynes, Sam Elliot, the city attorney, Paul Childers, the surveyor for Mr. Ojeda, will work on a plan to present. Mr. Ojeda explained he had approval of the commission in July, 2020, and is struggling to find answers. The Commission directed Earl Geary to issue Lakeside Collision another 30-day temporary business permit.

**C. Dean Lay – Zoning Map Amendment**

- a. Tax Map 002 Parcels 043.07, 043.08, 043.09, 043.10, 043.11, 043.12, 043.13

Change zoning from C-2 to R-3. The property is currently vacant and future plans for the property after rezoning would be apartments and or condos. Mr. Lay explained his perception of the Planning Commission as being “citizen unfriendly.” He, also, offered, he feels the C-2 zoning should allow for multifamily housing which it currently does not. Asked exactly what Mr. Lay is planning for those 3.5 acres of land, he said he was planning to combine all of the lots into one piece. He does not have an exact plan. He is “laying the ground work” and feeling out his options.

Asked if he would put sidewalks, street lighting and other enhancements for pedestrian safety by Mayor Rodman, his reply was “I will work with the Town.” Asked again, if he had a definite plan, he said he thinks he is a year away from beginning a project on the property. He stressed there is a critical need for housing (multi-family housing) in the Town of Monteagle, roundabouts would be a nice solution for traffic and he thinks add “use upon review” to make C-1 & C-2 zoning user friendly.

- D. **West Main Street** – Site Plan Ray Banks withdrew the request.

- E. **Southern Tire Mart** – Zach Dufour, Civil Engineer representing Southern Tire Mart at Pilot Flying J At the 7/6/2021 planning Commission meeting, the commissioners stipulated the opening onto Trussell Road from the back side of the property would be screen with not access. At that meeting, it seemed this stipulation would be approved by Southern Tire Mart. However, Southern Tire Mart would like to maintain access from Trussell Rd for maintenance of the property surrounding the Tire facility. Asked how wide the opening would be, it will be 22 feet wide with a proposed electric gate that slides to one side. The gate will be 2 feet wider on each side than the 22-foot opening. The Sliding gate is metal and will have a safety mesh on the inside. Before the motion was made and the was taken, Mayor Rodman recused herself from the vote because her spouse is employed by the Pilot. Dorraine Pamerly made a motion, seconded by Richard Black to allow the iron gate with safety mesh on the inside which is displayed on the site plan presented at this meeting. The motion passed.

There being no further business, Peter Beasley made a motion the meeting be adjourned, seconded by Richard Black the Meeting was adjourned at 8:23 pm.

Submitted by,

---

Chairman, Iva Michelle Russell

---

Secretary, Janet Miller-Schmidt

**Monteagle Regional Planning Commission**  
**Tuesday August 3<sup>rd</sup>, 2021, 6:00pm CST**

*Town Hall*  
*24 Dixie Lee Avenue*  
*Monteagle, TN 37356*

**Agenda**

- Iva Michelle Russell, Chairman
- Richard Black, Vice-Chairman
- Janet Miller-Schmidt, Secretary

- Mary Jane Flowers     Dorraine Parmley
- Peter Beasley         Marilyn Rodman, Mayor

- I. Call to Order**
- II. Approval of Previous Meeting Minutes**
  - A. July 6<sup>th</sup>, 2021
- III. Staff and Community Reports**
  - A. Staff-approved plat report (None)
  - B. Building Inspector's report
- IV. Old Business**
  - A. Zoning Ordinance Amendment
    - A. Section 1105 – Non-Conforming Uses
- V. New Business**
  - A. Zoning Map Amendment – Dean Lay
    - a. Tax Map 002 Parcels 043.07, 043.08, 043.09, 043.10, 043.11, 043.12, 043.013
  - B. West Main Street – Site Plan
  - C. Southern Tire Mart at Pilot / Flying J – Site Plan
  - D. Gene Nixon – Final Plat
  - E. Lakeside Collision – Site Plan
  - F. Any properly presented new business.
- VI. Adjournment**

**Next Regularly Scheduled Meeting: September 7<sup>th</sup>, 2021**



**From:** iva ivamichellerussell.com <iva@ivamichellerussell.com>  
**Sent:** Tuesday, July 27, 2021 9:28 AM  
**To:** Garrett Haynes; Janet Miller-Schmidt  
**Cc:** Marilyn Rodman; Richard Black; maryjane@flowersconstructioninc.com; Peter Beasley; Dorraine Parmley; monteagleinfo@blomand.net; Earl Geary  
**Subject:** Re: Monteagle Planning Commission - August 3, 2021

Great synopsis. Thank you.

Sent via the Samsung Galaxy S8+, an AT&T 5G Evolution capable smartphone  
Get [Outlook for Android](#)

---

**From:** Janet Miller-Schmidt <jrms2777@gmail.com>  
**Sent:** Tuesday, July 27, 2021 9:25:27 AM  
**To:** Garrett Haynes <ghaynes@sedev.org>  
**Cc:** iva ivamichellerussell.com <iva@ivamichellerussell.com>; Marilyn Rodman <rodmanmayor@benlomand.net>; Richard Black <richardblack\_2000@yahoo.com>; maryjane@flowersconstructioninc.com <maryjane@flowersconstructioninc.com>; Peter Beasley <gouchbeasley@blomand.net>; Dorraine Parmley <parmleyalderman@blomand.net>; monteagleinfo@blomand.net <monteagleinfo@blomand.net>; Earl Geary <egeary@townofkimball.com>  
**Subject:** Re: Monteagle Planning Commission - August 3, 2021

Thank you Garrett.  
Janet

Sent from my iPhone

On Jul 27, 2021, at 8:04 AM, Garrett Haynes <ghaynes@sedev.org> wrote:

Good Morning Everyone,

Attached you will find the agenda packet for the August 3<sup>rd</sup> Planning Commission meeting.

There are six agenda items for your consideration:

1. **Zoning Ordinance Amendment – Non-Conforming Uses**

This language has not changed since the July PC meeting.

I will be bringing a zoning map to show the locations of the C-1 and C-2 districts where this would apply.

2. **Zoning Map Amendment – Dean Lay**

My review for this has not changed since May. The Planning Commission will need to consider if this rezoning is in the best interest of the Town. I do not believe there would be a very strong case for “spot zoning”, but the challenge/argument could be made. More importantly, Mr. Lay needs to clarify his intentions for these properties as the proposed use of “apartments and or

condos” is currently spread over seven different parcels. If this rezoning moves forward, it is for these seven *individual* parcels.

I’d like to clarify if he has plans to consolidate the seven properties into one or more lots. If so, I recommend having him subdivide the property prior to rezoning. This subdivision could be done at the September PC meeting prior to the rezoning going through its second reading by the Town Council at the end of the month. Patio homes and townhouses can be built on individual parcels, **but not apartments or condos.**

**3. West Main Street – Site Plan**

Mr. Atkinson, Ray Banks, and Michael Barry are aware of the required revisions for this site plan, I have not received anything back from them since my review. They may have been discouraged from moving forward with the site plan as my review states that I **do not recommend** permitting this residential use in a commercial district.

**4. Southern Tire Mart at Flying J – Site Plan**

Kimley-Horn reached out to me and indicated that the property owner was not agreeable to closing off the maintenance access off of Trussell Road to the East. They have presented a nearly identical site plan, the only change showing a gated access point off Trussell Road for maintenance access. Kimley-Horn should be present to field any further questions.

**5. Gene Nixon – Final Plat**

This plat requires revisions that Mr. Nixon’s surveyor, Michael Barry, should be aware of (Emailed and called with no response). I’ve requested a PDF copy of this from Mr. Barry for clarity. As shown in my review notes, the property between these two lots shown as “road into flea market” will need to either be transferred to one of the two new lots, Mr. Nixon’s flea market property, or dedicated to the Town. **Without these revisions or clarification, I cannot recommend approval for this plat.**

**6. Lakeside Collision – Site Plan**

Please see the last few pages of the agenda packet for a summary of what I believe Mr. Ojeda will be present to discuss. I believe he will try to debate what was approved on his site plan last year. He should be aware of what was approved in 2020 and what is expected of his development as I have spoken with him at least twice on this matter since the last meeting.

---

It was requested that I look into Design Review Standards for the Town of Monteagle. You will find I have attached an example from the Town of Signal Mountain. Please review this as we will likely dive into this in an upcoming meeting.

We will also have a zoning map at the meeting to identify the locations of existing R-3 properties and discuss any changes. We can either address this at the end of the meeting or have it as its own agenda item in September.

---

For reference, Sadler Engineering is aware of the required site plan revisions. I have not yet received anything to review.

Please let me know if you have any questions or comments prior to next week.

Thank you!

# PLAT OF SURVEY

THIS IS A BOUNDARY LINE SURVEY. There is absolutely no certification made as to the existence or absence of any other survey, monument or right of way unless otherwise noted herein. Subsurface utilities or obstructions other than those which are clearly shown and labeled on such survey, including, but not limited to, power lines, gas lines, water lines, or any and all other land features that could be deemed hazardous, are shown or designated on this survey unless otherwise noted. THIS DOCUMENT is not intended to constitute a part of this survey. No abstract of title, nor is a commitment, nor results of this abstract were furnished to me. There may exist other documents which would affect the survey. The word "certify" as shown and used herein means an expression of professional opinion regarding the facts the survey and does not constitute a warranty or guarantee, expressed or implied.

#4 Capped Rebar "found"  
 Deed Book 442 Page 1013  
 Tax Map 22G A Parcel 010.00

Deed Book 504 Page 1300  
 Tax Map 22G A Parcel 010.00

#4 Capped Rebar "found"

0.712± Acres  
 Gene Nixon  
 Kimberly J Nixon  
 Deed Book 471 Page 1690  
 Tax Map 22G A Parcel 010.00

Road into Flea Market

#4 Capped Rebar "new"

0.577± Acres  
 Gene Nixon  
 Kimberly J Nixon  
 Deed Book 471 Page 1690  
 Tax Map 22G A Parcel 010.00

#4 Capped Rebar "found"  
 N:329765.11'  
 E:2015797.30'  
 RLS# 1551 "found"

#4 Capped Rebar "new"

#4 Capped Rebar "new"

Drive to Lappin Cemetery

Catherine Avenue

Church Street

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THIS IS A TRUE AND ACCURATE SURVEY WHICH MEETS OR EXCEEDS THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR A CATEGORY IV SURVEY. GPS EQUIPMENT WAS USED FOR ALL MEASUREMENTS WITHIN THIS SURVEY.



PROPERTY LOCATION  
 Fifth Civil District of Marion County, Tennessee  
 Located in Monticello, Tennessee



STATIC CONTROL POINT (Magnall)  
 N:327543.36' E:2016534.15' Z:1872.8  
 Positional accuracy: OVERALL RMS: 0.0;  
 Type of GPS field procedure: Static & Real Time  
 Dates of survey: 5-12-2021  
 Datum/Epoch: TN SPC(4100)  
 REF FRAME: NAD\_83(2011)EPOCH2010.  
 Published/Fixed-control user: OPUS  
 Geoid Model: g2018u7

NOTES:  
 1. The property shown hereon is subject to the provisions and conditions set forth in the parent instruments.  
 2. Survey shown hereon made at the specific request of the owner and has not been presented to the Town of Monticello.



## LAND SURVEYING & FOREST

Michael R. Barry  
 LAND SURVEYING & FORESTRY  
 3001 JUMPOFF MOUNTAIN ROAD / SEWANEE, TN 37375  
 (615) 321-2000

DATE: May 14, 2021  
 SCALE: 1" = 50'  
 SURVEYED BY: MAB & JMB  
 DRAWN BY: JMB  
 SURVEY EQUIPMENT USED: HYPER HR BASE & POWERMAN AVAILABLE SIGNALS

3001 JUMPOFF MOUNTAIN ROAD / SEWANEE, TN 37375  
 (931) 598-0314

SURVEY FOR: \_\_\_\_\_ FILER: \_\_\_\_\_

**A RESOLUTION OF THE TOWN OF MONTEAGLE PLANNING COMMISSION  
RECOMMENDING AMENDING THE ZONING MAP FOR THE TOWN OF  
MONTEAGLE, TENNESSEE TO REZONE PARCELS 043.07, 043.08, 043.09, 043.10,  
043.11, 043.12, 043.13, MARION COUNTY TAX MAP 022, FROM C-2 HIGHWAY  
COMMERCIAL DISTRICT TO R-3 HIGH DENSITY RESIDENTIAL DISTRICT**

**WHEREAS**, the authority granted in Tennessee Code Annotated (TCA), § 13-7-201, allows for the zoning of territory within a municipality; and

**WHEREAS**, TCA § 13-7-204, authorizes amendments to a zoning map; and

**WHEREAS**, in accordance with TCA, § 13-7-203, subsection (b), the Monteagle Regional Planning Commission has reviewed the zoning map amendment herein described; and,

**WHEREAS**, the Monteagle Regional Planning Commission makes the following findings pursuant to Zoning Ordinance Section 1207(c):

- 1. There is no general plan for the area.**
- 2. The amendment does not violate the legal grounds for zoning provisions.**
- 3. The overwhelming public good or welfare justifies any adverse effects upon adjoining or adjacent property owners.**
- 4. No one property owner or small group of property owners will benefit material[ly] from the change to the detriment of the general public.**
- 5. There is no general plan for the area.**

**NOW, THEREFORE, BE IT RESOLVED** by the Town of Monteagle Planning Commission that it recommends to the Town of Monteagle Board of Mayor and Aldermen that the Monteagle, Tennessee Zoning Map should be amended as follows:

parcels 043.07, 043.08, 043.09, 043.10, 043.11, 043.12, 043.13, of Marion County Tax Map 022 as shown on the accompanying map and described in Warranty Deed Book 146 Pages 686 on file with the Marion County Register of Deeds to be rezoned from C-2 Highway Commercial District to R-3 High Density Residential District.

This the \_\_\_\_ day of ~~May~~, 2021.

**Town of Monteagle  
Regional Planning Commission  
Minutes, July 6, 2021, 6:00**

- I. **CALL TO ORDER:** The Monthly meeting of the town of Monteagle Regional Planning Commission was called to order at 6:00 p.m. by Commission Chair, Iva Michelle Russell.
- Iva Michelle called roll. Those present were: Richard Black, Vice Chairman, Janet Miller-Schmidt, Secretary, Dorraine Parmley, Mary Jane Flowers, Peter Beasley. Absent: Mayor Marilyn Rodman.
- Also present: Debbie Taylor, City Recorder; Sam Elliot, City Attorney; and Garrett Haynes of the Southeast Tennessee Development Commission.
- II. **MINUTES OF PREVIOUS MEETING:** Parmley made a motion to accept the minutes as distributed from the June 1, 2021 of the commission meeting, seconded by Richard Black. The minutes were approved.
- III. **STAFF AND COMMUNITY REPORTS:**
- A. Staff Approved Plat Reports: Garrett Haynes (None)
- B. Building Inspector's Report: Earl Greary suggested/explained the need for R-3 home ordinance change. Presently in R-3 zones, some R-1 and R-2 homes have been permitted.
- The landscaping at Lakeside Collision owned by Christian Ojeda needs to comply with the landscaping ordinances. The fencing and landscaping are sitting to close to the street side and sitting on top of the water lines and electric lines. Christian explained he has purchased the chain link fence for his parking for \$10,000 and it is partially installed. The chain link screening fence does not comply with the ordinances - chain link fence is not in compliance. Earl stated Lakeshore Collision has been issued a temporary Certificate of Occupancy (CO) and a building permit has been issued. Christian presented site plans and drawings explaining his hope to use "flower boxes" with knockout roses to meet his landscaping requirements, which would require a zoning ordinance amendment or variance from the BZA to allow. *Christian said his plans had been approved by the previous administration.*
- ( Screening fences ordinance 710 – alternative landscaping fence ( wood, brick or block) *Iva Michelle asked to put fence on hold for 30 days and to be put on the agenda for the August 3, 2021 meeting. Christian is to send plans to Garrett Haynes.*
- Jessie Tate property will be addressed in the future.
- IV. **OLD BUSINESS**
- A. Dean Lay addressed the Commission with his dismay for not being informed his property was on the Agenda for the June 1, meeting. His property will be in the August 3, 2021 meeting agenda. (I asked Ty Barnett of Cliff Tops to share the Covenants of Cliff Tops with the Commission. He dropped them off to Town Hall on Friday)

V. NEW BUSINESS

A. Zoning Ordinance Amendment

- a. Section 1: Section 1105 – Nonconforming Uses and Structures/  
Subsection 6 shall be amended as follows:

*6. Nonconforming buildings containing nonconforming uses shall not be structurally altered except in conformance with the provisions of this ordinance. This provision shall not be construed to prevent normal maintenance, repairs, or alterations required for structural safety.*

*(a) Existing nonconforming single-family dwellings which are located within the C-1, Corridor Commercial District and the C-2, Highway Commercial District may be reconstructed and used as before. (i) This subsection is solely intended for properties that are in full*

*compliance with municipal and building codes. Any property which has had a notice of violation within the last 24 months shall not apply. (ii) "Reconstructed and used as before" shall constitute complete reconstruction as well as an addition or expansion to the primary structure. (iii) Accessory structures and uses may be permitted under this section*

– Maxwell cannot add on to existing single family home on a commercial property on property near the Army Museum across from Colley's Riff. People can live in a business, but it must be designed as a business building with fire protection. Use will revert back to commercial after 6 months if no one lives in the property. Garrett will bring zoning map to review C-1 and C-2 zones where this amendment would apply as well as R-3 districts that need to be addressed.

- B. SOUTHERN TIRE MART AT PILOT FLYING J, 640 Dixie Lee, Monteagle, TN. Kimley-Horn Site plan presented to Commission for Review. An 8500 Sq Ft Accessory Building (only for Tractor Trailer tires with a wraparound drive) tire changing business is proposed. Garrett stated he had reviewed the plans and they meet the minimum standards. Kelly Frank stated the old tires would be stored inside the building and out. The members of the commission asked for the landscaping to be continuous all along Trussell Road covering/closing the dirt/gravel road for access to the back of the property. There may need to be a fire access from Trussell Road because tires can cause added fire risk. Kelly Frank said she would check that possibility out. Dorraine made a motion to approve the site plan with the condition of closing the Trussell Road access with increased landscaping, seconded by Peter Beasley. Iva Michelle called for a voice vote from each member of the Commission. The motion passed unanimously.

- C. PETRO DEVELOPMENT (RBT)– Sam Elliott, explained prior to the call to order, he had spoken with the representatives of both RBT and the Neighbors

setting up ground rules for their presentations. Rusty Leonard, attorney, spoke for RBT and asked James Sane from Saddler Associates, an engineer for RBT to speak to specific questions regarding the project. Garrett said he had done an in-depth review of the site plan, line by line, 24,180 sq. ft. The engineer stated the road issues regarding entrance and egress for RBT had be worked out the TDOT, the wetlands had been addressed by TDEC, that an 8 ft brick wall on the residential side would be erected and three driveways on Dixie Lee were to be modified (two for the dinning part of the development) and one for 18-wheelers to enter. He stated over the minimum for parking and landscaping (on the exterior wall will be 2 layers) has been planned. It was stated the down lighting for the area ((Section 1006, 540E) lighting standard to be met?) Asked if the property for 50 ft egress onto Foresite for the 18-wheelers will be deeded to RBT – the response was after the site plan is approved the transfer and deed will be completed. Signage for RBT will be reviewed by Earl Greary. Dudley West & Douglas Barry from Miller and Martin law firm, representing the citizens, read an addendum to the documents presented to the Commission in May and asked Jim Waller, Civil Engineer to speak to the drainage water from the Proposed Truck Stop. The potion of the Neighbors is that RBT’s project should not be granted because of runoff pollution to Laurel Lake (the town water supply), noise, exhaust, lighting, the height of the trucks over the height of the screening and landscaping. Section 706 provides the requirements for landscaped screening, additional screen could be required. Lighting is not required on the site plan. After listening to all comments regarding the RBT project, the Commission discussed among themselves how to respond. Iva Michelle requested a motion be made. Mary Jane Flowers made a motion to approve the plan as presented with the following conditions: 1 – increase the evergreens to 8-10 ft high and 8 ft apart staggered in two rows; 2 – Lighting to meet the IDA-IDS model lighting ordinance; and 3 – “the 30ft buffer to continue along Sampley Street across from Overton”, seconded by Richard Black. Iva Michelle took a voice vote from each of the Commissioners. The Motion passed unanimously.

D. ANY PROPERLY PRESENTED NEW BUSINESS

There was none.

VI. ADJOURNEMENT

Dorraine made a motion to adjourn the meeting, seconded by Mary Jane. The meeting was adjourned at 8:28 p.m.

Submitted by,

---

Chairman, Iva Michelle Russell  
Schmidt

Secretary, Janet Miller-

# APPLICATION FOR ZONING AMENDMENT

## TOWN OF MONTEAGLE, TENNESSEE

16 DIXIE LEE AVENUE, MONTEAGLE, TN 37356 (PHYSICAL) | PO Box 127, MONTEAGLE, TN 37356 (MAILING)  
 PHONE: (931) 924-2265 / FAX: (931) 924-2264

**COMPLETE ALL APPLICABLE SECTIONS AND SUBMIT REQUIRED MATERIALS.**

APPLICANT INFORMATION	
Name: <u>DEAN LAY</u>	Phone: <u>865 585 7017</u>
Mailing Address: <u>P.O. Box 9, Monteagle TN 37356</u>	Email:

REQUEST FOR ZONING TEXT AMENDMENT
Section of Zoning Ordinance to be amended:
Text of proposed amendment:
Explanation/justification for proposed amendment: <span style="float: right;"><i>Attach additional pages if necessary.</i></span>
<div style="text-align: right;"><i>Attach additional pages if necessary.</i></div>

REQUEST FOR ZONING MAP AMENDMENT (REZONING)
Is the applicant (identified above) the OWNER of the property to be rezoned? <input checked="" type="radio"/> YES or NO
If "NO" to previous question, provide the following property owner information:
Owner Name: <u>DEAN LAY</u> Owner Phone: <u>865 585 7017</u>
Owner Mailing Address: <u>P.O. Box 9</u> Applicant relationship to owner:
Physical Address of Property to be Rezoned: <u>West Main Street</u>
Tax Map and Parcel Number of Property to be Rezoned: <u>MAP 022, Parcels 43.07, 43.08, 43.09, 43.10, 43.11, 43.12, 43.13</u>
Current Zoning: (Circle) R-1 R-2 <u>R-3</u> R-4 I-D C-1 <u>C-2</u> C-3 I-1
Proposed Zoning: (Circle) R-1 R-2 <u>R-3</u> R-4 I-D C-1 C-2 C-3 I-1
Describe current use and condition of property: <u>VACANT</u>
Describe future plans for property after rezoning: <u>Apartment And OR CONDOS</u>
<i>Attach additional pages if necessary and provide documentation (e.g. maps, petitions, plats or plans for development, justification for proposed amendment) to assist with application review.</i>

I hereby certify that the information provided on this application is true and correct. I understand that this application and any supplemental materials will be presented in public meetings and that public hearing notices will be mailed to nearby property owners. I also understand that this application does not provide any guarantee that the proposed amendment or rezoning will be adopted by the Town of Monteagle.

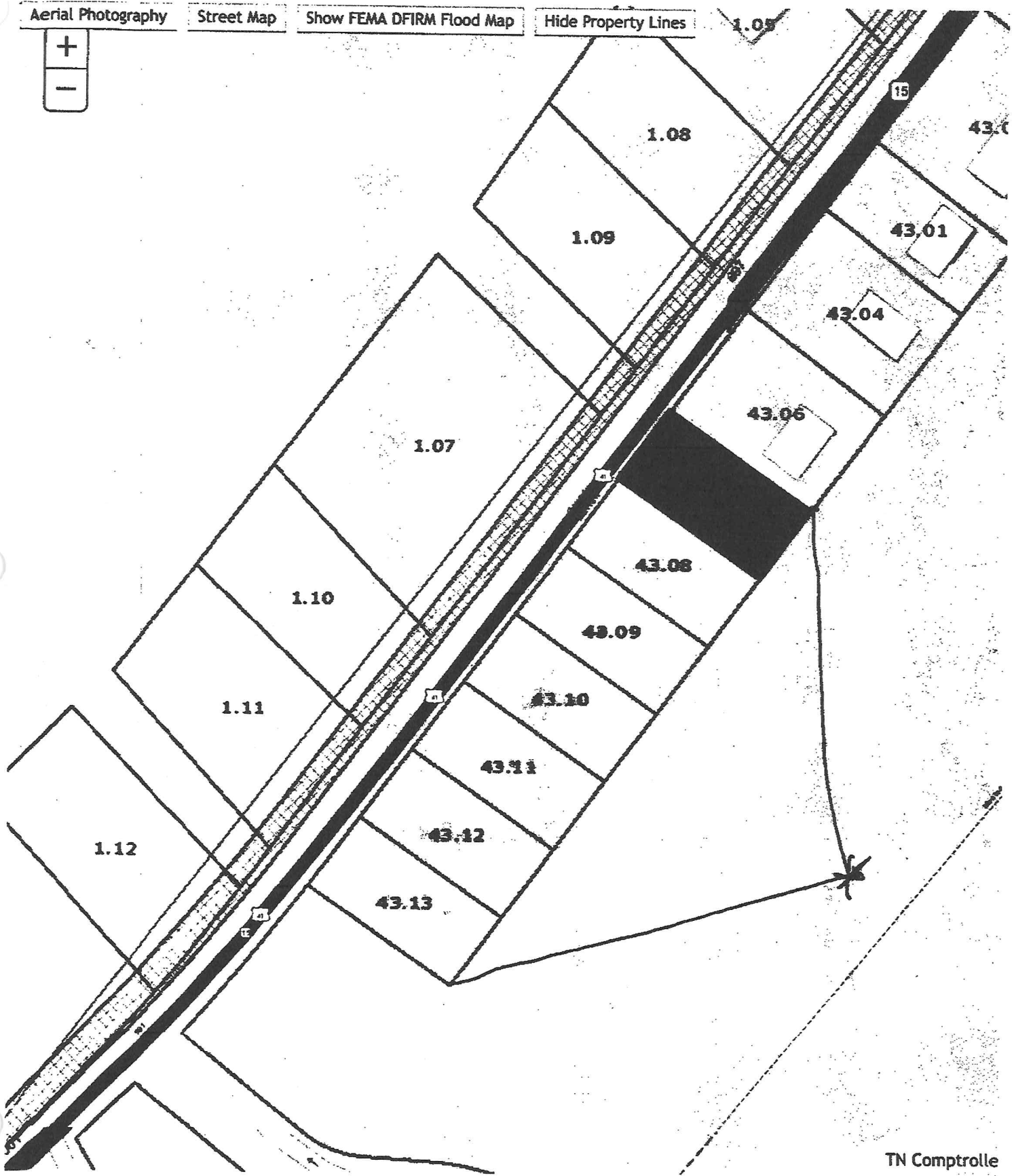
Applicant: Dean Lay      Date: 4-28-21

CITY USE ONLY					
Office Review	Application fee:	Staff Initial For Payment:	Payment Date:		
Planning Review	Date Referred to Planning Staff:	Date Presented to Planning Comm.:	Planning Comm. Recommendation:		
City Action	Date Public Hearing Advertised in Newspaper:	Date Notices Mailed to Surrounding Property Owners:	Date of Public Hearing:		
	<table style="width: 100%; border: none;"> <tr> <td colspan="2" style="text-align: center; border: none;">Reading Dates</td> </tr> <tr> <td style="width: 50%; border: none;">1<sup>st</sup></td> <td style="width: 50%; border: none;">2<sup>nd</sup></td> </tr> </table>	Reading Dates		1 <sup>st</sup>	2 <sup>nd</sup>
Reading Dates					
1 <sup>st</sup>	2 <sup>nd</sup>				





Aerial Photography Street Map Show FEMA DFIRM Flood Map Hide Property Lines



TN Comptrolle

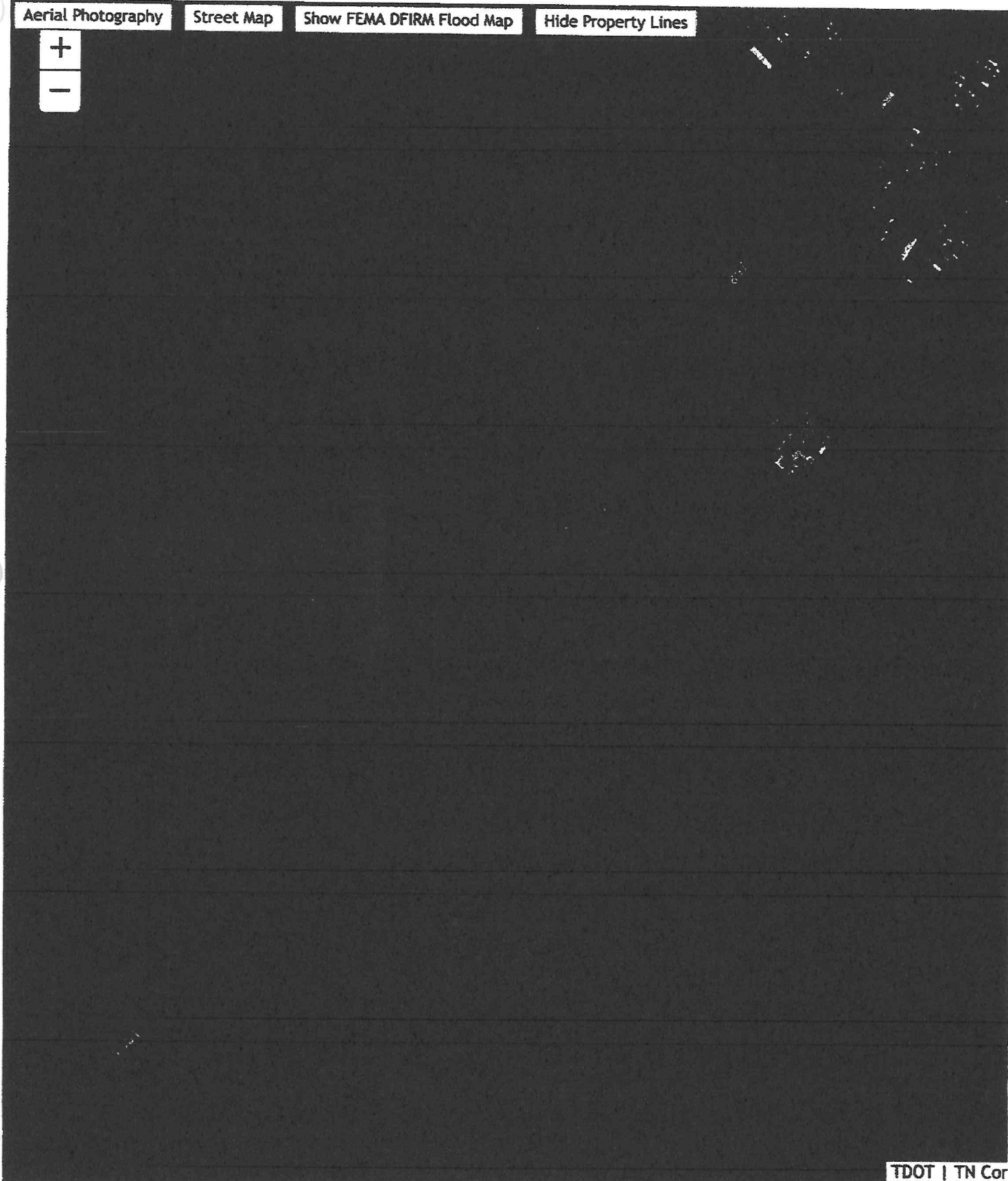


Aerial Photography

Street Map

Show FEMA DFIRM Flood Map

Hide Property Lines



TDOT | TN Cor



Southeast Tennessee Development District  
Community Development  
P.O. Box 4757 | 1000 Riverfront Parkway  
Chattanooga, TN 37405  
Phone: (423) 266-5781 Fax: (423) 267-7705  
www.sedev.org

---

---

### STAFF REVIEW

---

---

To: Town of Monteagle Regional Planning Commission  
From: Garrett Haynes, Regional Planner  
Date: 5/3/2021  
Subject: Rezoning Request – C-2 Highway Commercial District to R-3 High-Density Residential District

---

**Property Owner:**  
Dean Lay  
P.O. Box 9  
Monteagle, TN 37356

**Property Location:**  
Main Street W  
Monteagle, TN 37356

**Tax Map: 022 Parcels:**  
043.07, 043.08, 043.09,  
043.10, 043.11, 043.12, 043.13  
**Flood Zone:** NO  
**Current Zoning:** C-2  
**Proposed Zone:** R-3

#### Background

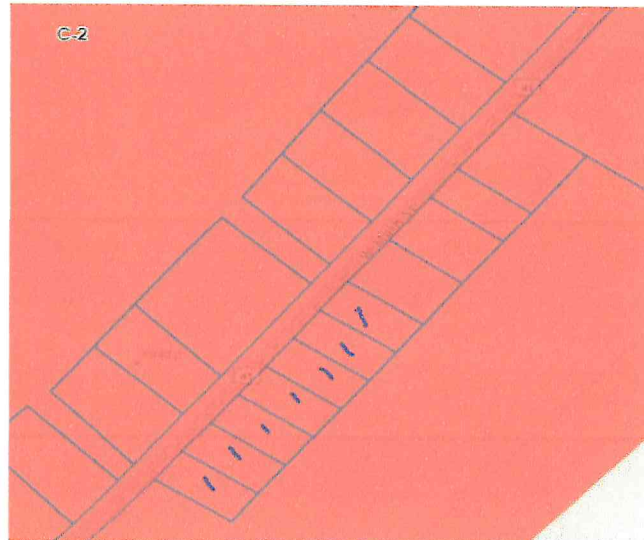
An application for a zoning map amendment (rezoning) has been submitted for a property located along TN 15 / West Main Street. The property owner is looking to be able to site apartments and/or condominiums on this property, which is prohibited in C-2 zoning and permitted in R-3. The property under review is composed of seven different properties owned by Mr. Lay, totaling approximately 3.25 acres.

This property was zoned C-2 on the zoning maps from 2018 & 2019 that were improperly approved. Therefore, a rezoning recommendation based on previous use should not be considered. The properties to the North, South, East, and West are all zoned C-2.

Aerial Imagery:



Current Zoning Map:



*Analysis*

Please note the residential zoning districts in the table below from section 501 where apartments, and condominiums are permitted.

RESIDENTIAL USES	C-1	C-2	C-3	I-1	R-1	R-2	R-3	R-4	I-D	Additional Requirements
Apartments and condominiums							●	●	●	
Customary home occupations					●	●	●	●	●	Section 518
Duplexes						●		●	●	
Group quarters, dormitories									●	
Mixed-use residential	●									Section 524
Mobile homes, double-wide					●	●		●	●	Section 525
Mobile homes, single-wide								●		Section 525
Mobile home parks								●		Section 526
Patio homes							●	●	●	Section 527
Single-family dwellings					●	●		●	●	
Temporary dwelling units					●	●		●		Section 536
Tiny houses								●		Section 538
Townhouses							●	●	●	Section 539

The R-3 zoning district is one of three districts in Monteagle that permits apartments or townhouses. R-3 High-Density Residential District is intended to promote the development of high-density residential developments including apartments, townhouses, and patio homes.

It is worth noting again that all properties surrounding this request are zoned C-2 and that this rezoning could be portrayed as “spot zoning”. The intensity of the proposed use should be clearly identified by the applicant and should be carefully considered. Planning Commission members should consider if this a zoning district and ultimately the type of development the Town wants along a corridor that has historically been zoned C-2.

Once Mr. Lay details his plans for the property, specifically the intensity and proposed density for the proposed use, this information may lead to an alternative zoning district which may be more desirable for the Town. For example, Mixed-Use Residential Developments are a permitted residential land use in the C-1 Zoning District. This use has permitted housing styles that are similar to the applicant’s request: townhouses, patio homes, and apartments. C-1 zoning also requires that a minimum of 25% of the gross building square footage be reserved for commercial uses open to the public, which would remain with the current nature of the corridor. Mixed use residential also requires, among other things, that the first floor be reserved for said commercial use for buildings that immediately front on West Main Street, which again would remain consistent with the current nature of the corridor. This would result in a “down-zoning” of the property, meaning that the intensity of the land use would decrease, and not create an isolated pocket of High-Density Residential.

**Recommendation**

Staff finds no reason to deny this request as the proposed use for the property meets the intent and purpose of the R-3 Low-Density Residential District. This review is based solely on analysis of information presented as well as the information staff has available. Staff reserves the right to alter this recommendation should new information be presented detrimental to adherence with county and state regulations.

ORDINANCE NO. \_\_\_\_

**AN ORDINANCE TO AMEND THE ZONING MAP FOR THE TOWN OF MONTEAGLE, TENNESSEE TO REZONE PARCELS 043.07, 043.08, 043.09, 043.10, 043.11, 043.12, 043.13, MARION COUNTY TAX MAP 022, FROM C-2 HIGHWAY COMMERCIAL DISTRICT TO R-3 HIGH DENSITY RESIDENTIAL**

**WHEREAS**, the authority granted in Tennessee Code Annotated (TCA), § 13-7-201, allows for the zoning of territory within a municipality; and

**WHEREAS**, the Monteagle Regional Planning Commission has implemented zoning districts as provided for in TCA, § 13-7-202; and

**WHEREAS**, TCA § 13-7-204, authorizes amendments to a zoning map; and

**WHEREAS**, in accordance with TCA, §13-7-203, subsection (a), a public hearing was held prior to the adoption of this zoning map amendment; and

**WHEREAS**, in accordance with TCA, § 13-7-203, subsection (b), the Monteagle Regional Planning Commission reviewed the zoning map amendment herein described to the Monteagle Board of Mayor and Aldermen.

**WHEREAS**, the Monteagle Regional Planning Commission makes the following findings pursuant to Zoning Ordinance Section 1207(c):

- 1. There is no general plan for the area.**
- 2. The amendment does not violate the legal grounds for zoning provisions.**
- 3. The overwhelming public good or welfare justifies any adverse effects upon adjoining or adjacent property owners.**
- 4. No one property owner or small group of property owners will benefit material[ly] from the change to the detriment of the general public.**
- 5. There is no general plan for the area.**

**NOW, THEREFORE, BE IT RESOLVED** by the Town of Monteagle Planning Commission that it recommends to the Town of Monteagle Board of Mayor and Aldermen that the Monteagle, Tennessee Zoning Map should be amended as follows:

Parcels 043.07, 043.08, 043.09, 043.10, 043.11, 043.12, 043.13 of Marion County Tax Map 022 as shown on the accompanying map and described in Warranty Deed Book 146 Page 686 on file with the Marion County Register of Deeds to be rezoned from C-2 Highway Commercial District to R-3 High Density Residential District.

**NOW, BE FURTHER ORDAINED** that this ordinance shall become effective immediately after final reading and passage by the Board of Mayor and Aldermen.

**Reviewed by the Monteagle Regional Planning Commission: June 1<sup>st</sup>, 2021**

**Public Hearing Advertised on: \_\_\_\_\_**

**Date of Public Hearing: \_\_\_\_\_**

**Approved First Reading: \_\_\_\_\_, 2021**

**Approved Second Reading: \_\_\_\_\_, 2021**

\_\_\_\_\_  
**Mayor**

\_\_\_\_\_  
**City Recorder**

Approved as to form:

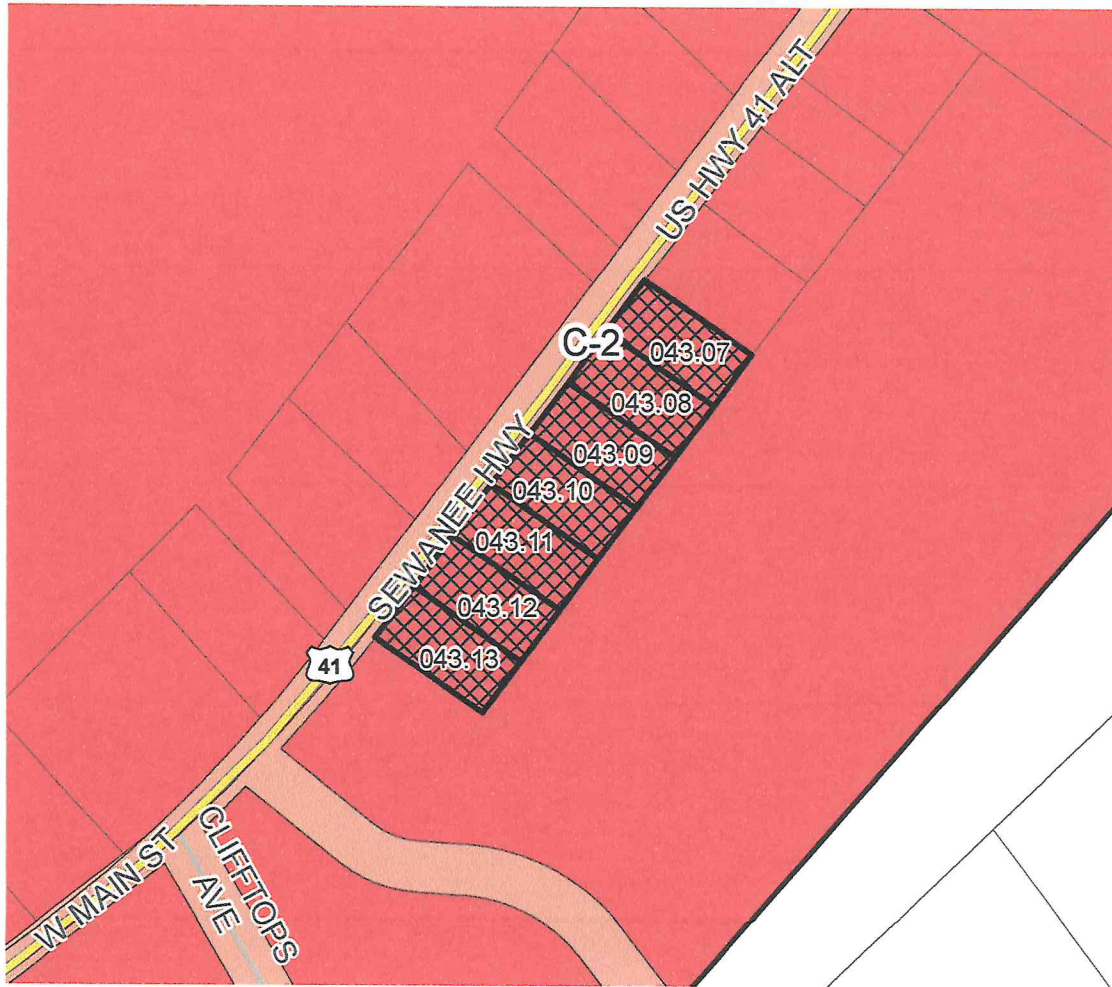
\_\_\_\_\_ **(Town Attorney)**

# Monteagle, Tennessee

Lay Rezoning Request C-2 to R-3

Marion County Tax Map 022, Parcels 043.07, 043.08, 043.09, 043.10, 043.11, 043.12 and 043.13

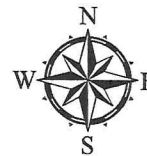
Ordinance No. \_\_\_\_\_



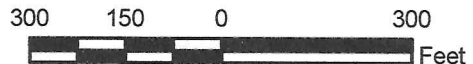
**Legend**

Subject Area	R-2 Medium Density Residential District	C-2 Highway Business District
R-1 Low Density Residential District	R-3 High Density Residential District	C-3 Interchange District
R-4 General Residential District	C-1 Central Business District	I-1 Light Industrial District
		I-D Institutional Development District

Map Prepared By:  
 Community Development  
 Southeast Tennessee Development District  
 Chattanooga, TN  
 Geographic Information Systems



This map is for planning purposes only.  
 This is not an engineering map.



Source: SETDD & 2021 TNBMP Data

Date: 5/4/2021

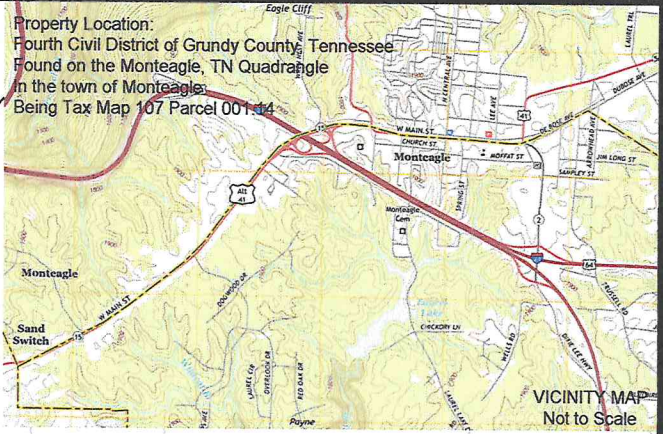
# SITE PLAN

Owner:  
John & Patty Atkinson  
1409 Weatherhill CT SW  
Rochester, MN 55902

Developer:  
John Atkinson  
(507) 254-9306

**NOTE:**

1. The property shown hereon is Lot 14 of the Gunn Farm Phase 1 Subdivision.
2. Total acreage is 0.967± Acres.
3. Water, Natural Gas and Overhead utilities run along State Highway 41-A.
4. Topographic information generated for LIDAR information.
5. Easements shown hereon located from previous plats of record.

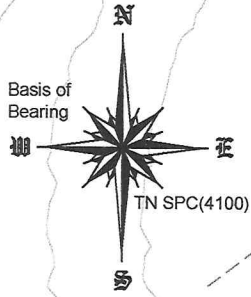


MICAH SPARACIO  
1100/278  
107-001.01

⑬  
THE GUNN FARM PHASE 1  
NIXON  
1073/676  
107-001.13

⑭  
THE GUNN FARM PHASE 1  
John & Patty Atkinson  
Record Book 1129 Page 576  
Plat Book 1 Page 324  
Tax Map 107 Parcel 001.14

PROPOSED  
UTILITY  
BUILDING



**LEGEND**

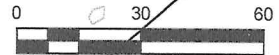
- #5 Capped Rebar "new"
- As Labeled "found"
- #5 Capped Rebar "found"
- Area to be Concrete



**Michael A. Barry**  
**LAND SURVEYING & FORESTRY**  
ALL TYPES OF LAND SURVEYS & FORESTRY CONSULTING

**LAND SURVEYING & FORESTRY**

DATE: June 24, 2021	SURVEYED BY: MAB & JMB	DRAWN BY: JMB
SCALE: 1" = 30'	Topcon Hyper HR All Signals	
3001 JUMP OFF MOUNTAIN ROAD / SEWANEE, TN 37375 (931) 598-0314		
SURVEY FOR: John Atkinson	FILER: 6-24-2021 Atkinson	







Southeast Tennessee Development District  
 Community Development  
 P.O. Box 4757 | 1000 Riverfront Parkway  
 Chattanooga, TN 37405  
 Phone: (423) 266-5781 Fax: (423) 267-7705  
 www.sedev.org

**REVIEW**

**Property Owner:**

John & Patty Atkinson  
 1409 Weatherhill CT SW  
 Rochester, MN 55902

**Surveyor:**

Michael A. Barry  
 3001 Jumpoff Mountain Road  
 Sewanee, TN 37375

**Location:**

W Main Street  
 Monteagle, TN 37356  
 (107 001.14)

**Building Setbacks:**

*Side:* 10 feet

*Front:* 30 feet

*Rear:* 10 feet

**Zoning:** C-2

**Flood Zone:** NO

*Background*

This site plan proposed by Mr. Atkinson is for a proposed (non-commercial) utility building off W Main Street. This development was originally handled by Earl Geary brought this up at previous meetings and ultimately denied him a building permit on 6/03/2021. The reason for denying the permit was due to this being a residential use in a commercial zone. At that point in time the possibility of requesting a zoning map amendment (rezoning) or a BZA determination of appropriate use was discussed.

*Analysis*

In my preliminary discussions with Earl Geary, the property owner’s intentions were to site a “utility structure...including storage and parking facilities for equipment and supplies.” Which *was* a permitted use in C-2 zoning district under the 2016 zoning ordinance. Even if a private utility structure was permitted under the old ordinance, this use was removed in the January 25, 2021 zoning ordinance amendment and therefore is not a permitted use within C-2.

As presented, this use would not “depend on visibility from or proximity to automobiles or traffic, serve regional travelers, cater to local residents in vehicles, or provide services essential to the movement of vehicles”, which is the intent of the C-2 district. Unless I am informed otherwise, I am considering this development to be a residential use located on a commercially zoned parcel and should not be permitted. The Planning Commission has the sole discretion whether to permit this development or not.

## Chapter 10 – Site Plan Requirements

A site plan shall be required for all commercial, multifamily, industrial, public, and semi-public developments and redevelopments in the Town of Montevallo. Depending on the nature or intensity of the proposed land use, or when there is uncertainty as to building setbacks, easements, property lines, or utility locations, the enforcement officer or planning commission may require that a site plan be prepared and stamped by a licensed engineer, surveyor, or architect.

It shall be unlawful for any person to construct, erect, or alter any building or structure, or to develop, change, or improve land except in accordance with the approved final site plan.

No permit shall be issued to erect or alter any building or structure until a site plan has been submitted and approved in accordance with this ordinance.

On the day of the planning commission meeting, the applicant or his representative shall bring five copies of the revised site plan, or more if requested by planning staff.

The planning commission shall review the site plan for compliance with all applicable requirements of this ordinance. During its review, the planning commission may request recommendations from planning staff, the enforcement officer, and other appropriate officials.

The Planning Commission may take the following actions on site plans: Approve, Conditionally Approve, Refer to the BZA, Table or Deny.

Note that if the Planning Commission decides to Table a site plan, it may not be revised. If a site plan requires revisions, it is suggested that the applicant withdraw the site plan and resubmit.

Site plans shall contain the following components and information, as applicable. The planning commission may require missing items be added or other corrections made as a condition for approval.

- A. Name, address, and contact information of the owner of record and the applicant.
  - a. **This requirement is met.**
- B. Name, contact information, and original stamp of the licensed engineer, surveyor, or architect who prepared the site plan.
  - a. **This requirement is met.**
- C. Name of the development and physical address of the site.
  - a. **This requirement is not met.**
- D. Tax map and parcel ID number of the property to be developed.
  - a. **This requirement is met.**
- E. 24-hour contact information for the responsible project manager.
  - a. **This requirement is met.**
- F. Current zoning of the site and all abutting properties.
  - a. **This requirement is not met.**
    - i. **Site and abutting properties do not have the correct current zoning labelled. (C-2)**
- G. Date, graphic scale, and north point.
  - a. **This requirement is met.**

- H. Courses and distances of all property lines and street centerlines.
  - a. **This requirement is met.**
- I. All property setback lines, easements, covenants, reservations, and rights-of-way.
  - a. **This requirement needs corrections.**
    - i. **Building setbacks are incorrect for C-2 zoning.**
- J. The area of site in acreage or square feet and the total calculated area of land disturbance.
  - a. **This requirement is not met.**
- K. Topography of existing ground and paved areas and elevations of streets, alleys, utilities, buildings, and structures. When required by the planning commission, 5-foot contours shall be shown.
  - a. **This requirement is met.**
- L. Floodplain limits and natural and artificial watercourses. If the property is in a floodplain, elevations for all structures shall be included.
  - a. *Not applicable*
- M. Existing and proposed sidewalks, streets, alleys, easements, and utilities.
  - a. **This requirement is met.**
- N. Existing and proposed buildings and structures, including signs.
  - a. **This requirement is met.**
- O. Existing and proposed public sewer systems with line sizes noted.
  - a. **This requirement is met.**
- P. Existing and proposed water mains with line sizes and fire hydrant locations noted.
  - a. **This requirement is met.**
- Q. Plans for collecting stormwater and methods of treatment.
  - a. **This requirement needs further clarification.**
- R. Grading and drainage plan including any existing and proposed slopes, terraces, and retaining walls.
  - a. **This requirement is met.**
- S. Existing and proposed natural areas, recreation areas, and open space.
  - a. **This requirement is met.**
- T. Detailed design of access points and parking lots showing internal circulation lanes, total number of parking spaces, loading areas, landscaping elements, drainage plans and systems, and location of ADA-accessible spaces.
  - a. **This requirement is not met.**
    - i. **Landscaping element is not shown.**

711

Approval of Landscaping by Planning Commission

- A. Required landscaping shall be presented on the site plan or on a separate landscaping plan for review and approval by the planning commission.
- B. Any site plan submitted without the required landscaping elements shall be considered incomplete and shall not be approved. A verbal or written commitment from the developer to install landscaping will not be accepted for any conditional or interim approval; the landscaping plan must be presented to and voted on by the planning commission.
- U. Distances between buildings.
  - a. *Not applicable.*
- V. Number of existing and proposed dwelling units.
  - a. *Not applicable.*
- W. Total gross floor area of each building.
  - a. **This requirement is not met.**

X. Lot coverage in square feet and as a percentage of total tract area.

a. **This requirement is not met.**

Y. **Landscaping Guarantee is not shown.**

Z. **Certification of Zoning Compliance is not shown.**

**Recommendation:**

The proposed site plan does not comply with the requirements of the Monteagle Zoning Ordinance.

This review is based solely on analysis of site plan presented as well as the information staff has available. Staff reserves the right to alter this recommendation should new information be presented detrimental to adherence with local, county and state regulations.

# CIVIL CONSTRUCTION PLANS FOR

# MONTEAGLE SOUTHERN TIRE MART at PILOT FLYING J

640 DIXIE LEE AVE, MONTEAGLE  
MARION COUNTY, TN

### PROJECT DEVELOPMENT TEAM

**DEVELOPER**  
TRAVEL CENTER REALTY, LLC  
800 U.S. HWY 58  
COLLETON, MS 39029  
CONTACT: TRAVEL CENTER REALTY, LLC  
PHONE: (801) 474-3305

**OWNER**  
PILOT TRAVEL CENTER  
5600 LONNARD ROAD  
MONTICELLO, TN 37102  
CONTACT: MARY PHILLIPS  
PHONE: (808) 474-2417

**ARCHITECT**  
MR. CONRAN SMITH  
200 N. WESSBARGER ROAD  
MONTICELLO, TN 37102  
CONTACT: TRAVIS BROWN, PE  
PHONE: (808) 544-0999

**SURVEYOR**  
THE LAND CONSULTANTS, LLC  
848 HIGHWAY #41  
MONTICELLO, TN 37102  
CONTACT: TRAVIS, SHIELDS  
PHONE: (423) 334-8722

**CIVIL ENGINEER**  
HALL EVORN AND ASSOCIATES, INC.  
8750 POPP AVENUE, SUITE 600  
MONTICELLO, TN 37366  
PHONE: (801) 445-5525  
CONTACT: TRAVIS SHIELDS, PE  
PHONE: (801) 334-5334

### PERMITTING / UTILITY CONTACTS

**WATER**  
TOWN OF MONTEAGLE  
640 DIXIE LEE AVE  
MONTICELLO, TN 37366  
CONTACT: TRAVIS SHIELDS, PE  
PHONE: (801) 334-5334

**ELECTRICITY**  
SOUTHERN POWER VALLEY ELECTRIC COMPANY  
6000 US 42  
TRACY CITY, TN 37397  
PHONE: (801) 592-6884

**GAS**  
GAS SERVICE OF TENNESSEE, INC.  
4500 W. WALKER BLVD  
MURFREESBORO, TN 37132  
PHONE: (801) 881-3044

**SEWER**  
TOWN OF MONTEAGLE  
640 DIXIE LEE AVE  
MONTICELLO, TN 37366  
CONTACT: TRAVIS SHIELDS, PE  
PHONE: (801) 334-5334

**PLANNING DEPARTMENT**  
MARION COUNTY PLANNING DEPARTMENT  
P.O. BOX 127  
MONTICELLO, TN 37102  
CONTACT: EARL GEARY, JR.  
PHONE: (423) 624-4265

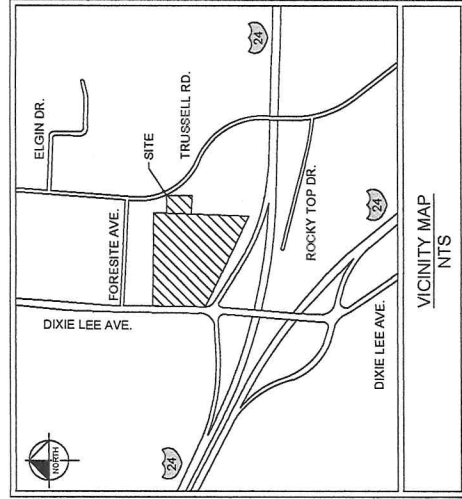
**ENVIRONMENTAL QUALITY**  
DEPARTMENT OF ENVIRONMENTAL QUALITY  
TENNESSEE DEPARTMENT OF REVENUE  
1301 RIVERBROOK PARKWAY, SUITE 208  
MONTICELLO, TN 37102  
CONTACT: AMY WATNER  
PHONE: (423) 834-5945

**PERMITS**  
MARION COUNTY PERMITS  
3811 LANGFORD ST  
MCMINNVILLE, TN 37110  
PHONE: (801) 685-4151

**FIRE DEPARTMENT**  
MARION COUNTY FIRE DEPARTMENT  
P.O. BOX 127  
MONTICELLO, TN 37102  
CONTACT: GERARD BREWER  
PHONE: (801) 222-5887

### REVISIONS FOR CONDITIONAL APPROVAL:

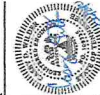
- PER THE REQUIREMENTS OF THE CITY, THE BUILDING DATE ON IMPROVEMENTS FOR THIS SITE. THIS DATE WILL PROVIDE RESTRICTING ACCESS TO THE GENERAL PUBLIC.



Sheet Number	Sheet Title
VP-00	CIVIL COVER SHEET
C1-00	TOPOGRAPHIC SURVEY (BY OTHERS)
C2-00	DEMOLITION PLAN
C2-01	SITE PLAN
C3-00	DETAILED SITE PLAN
C4-00	DETAILED GRADING AND DRAINAGE PLAN
C4-01	EROSION CONTROL PLAN
C5-00	EROSION CONTROL DETAILS
C6-00	UTILITY PLAN
C6-01	CONSTRUCTION DETAILS
C6-02	CONSTRUCTION DETAILS
L1-00	LANDSCAPE PLAN
L1-50	LANDSCAPE DETAILS
L1-51	LANDSCAPE NOTES

### NOTES

- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN OBTAINED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS.
- IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL BE RESPONSIBLE FOR THE CORRECTION OF THE SAME. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS.



DATE	07/16/2021
PROJECT NO.	151600019
TITLE	



Many utilities below.  
Call before you dig.

PROJECT DATUM: MADD83

CIVIL COVER SHEET

SHEET NUMBER  
C0-00

**Kimley-Horn**  
1000 U.S. HWY 58  
COLLETON, MS 39029  
PHONE: (801) 474-3305

**TRAVEL CENTER REALTY, LLC**  
800 U.S. HWY 58  
COLLETON, MS 39029  
PHONE: (801) 474-3305

DATE	07/16/2021
PROJECT NO.	151600019
TITLE	

MONTEAGLE SOUTHERN  
TIRE MART at PILOT  
FLYING J  
640 DIXIE LEE AVE, MONTEAGLE, TN 37366



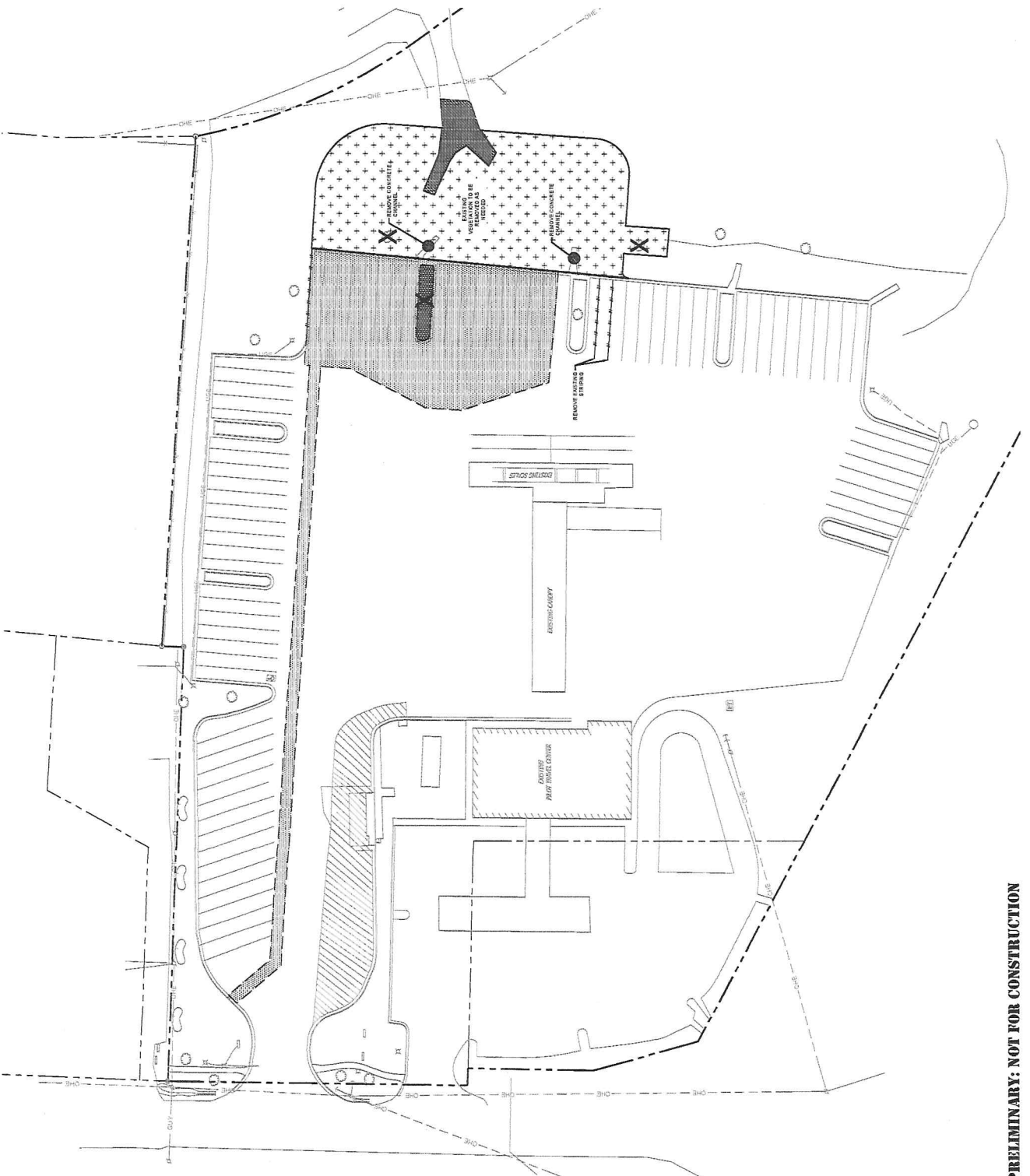


**DEMOLITION NOTES:**

- UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE P.L.S. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITIES TO BE REMOVED. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES FOR ANY NECESSARY RELOCATIONS WHEN NECESSARY OR ADAPTED FOR THEIR SPECIFIC REQUIREMENTS.
- REMOVE ALL REMOVED AND PERSONNEL IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
- TRACES TO BE MAINTAINED BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASE. REFERENCE TREE PROTECTION AND EROSION CONTROL MEASURES TO BE OBSERVED THROUGHOUT CONSTRUCTION.
- CONSTRUCTION FENCES OR SALT FENCES SHALL NOT OBSTRUCT TRAFFIC FLOW ON EXISTING PARKING LOT AND ADJACENT TO THE MAIN DRIVE. THE CONTRACTOR SHALL MAINTAIN THIS SMALL CEMENT PAVED DRIVE ALONG THE SITE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE UTILITY REMOVAL AND RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
- CONTRACTOR SHALL PROTECT SURROUNDING BUILDING UTILITY SERVICES DURING CONSTRUCTION AND COORDINATE ALL SERVICE IMPACTS WITH OWNER.
- NO GRADED SLOPE SHALL EXCEED 3:1 V.
- CONTRACTOR SHALL MAINTAIN AN ADA COMPLIANT PATHWAY THROUGHOUT CONSTRUCTION. ADJACENT STREET FRONTAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL FOLLOW ALL PROCEDURES AND RECOMMENDATIONS FROM ENVIRONMENTAL ASSESSMENTS PROVIDED BY THE OWNER.
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY DATED 06/01/2021 AND FROM INFORMATION TRACED IN FROM AERIAL INFORMATION.

**DEMOLITION LEGEND:**

[Hatched Pattern]	REMOVE EXISTING ASPHALT PAVEMENT
[Hatched Pattern]	REMOVE EXISTING CONCRETE PAVEMENT
[Dotted Pattern]	REMOVE EXISTING GRAVEL
[Cross-hatched Pattern]	REMOVE EXISTING VEGETATION
[Cross-hatched Pattern]	REMOVE EXISTING UTILITIES, FENCES, CURB & GUTTER, & WALLS
[Cross-hatched Pattern]	REMOVE EXISTING TREES / BUSHES
X	APPROXIMATE SWAY CUT LIMITS



**811**  
Know what's below.  
Call before you dig.

GRAPHIC SCALE IN FEET: 0, 15, 30, 45, 60

**PRELIMINARY: NOT FOR CONSTRUCTION**

NO.	DATE	DESCRIPTION
1	7/16/2021	CONDITIONAL APPROVAL

**MONTAGLE SOUTHERN  
 TIRE MART at PLOT  
 FLYING J**  
 640 DIXIE LEE AVE., MONTAGLE, TN 37356



DATE: 07/16/2021  
 PROJECT NO.: 115560019  
 SHEET NO.: C2-00

**SITE PLAN**  
 GRAPHIC SCALE IN FEET  
 0 50 100

**DEVELOPMENT SUMMARY:**

**SITE SUMMARY:**  
 ZONING: C3 (INTERCHANGE COMMERCIAL)  
 PROPERTY TO NORTH: R1 (LOW DENSITY RESIDENTIAL)  
 PROPERTY TO EAST: C3 (INTERCHANGE COMMERCIAL)  
 PROPERTY TO SOUTH: C3 (INTERCHANGE COMMERCIAL)  
 PROPERTY TO WEST: C3 (INTERCHANGE COMMERCIAL)

TOTAL TRACT AREA: 163.42 AC (73,897 SF)  
 TOTAL TRACT AREA: 27,000 SF (73,897 SF)  
 LOT COVERAGE (AREA): 0.07 = 3.7%

BUILDING SETBACK: 40 FT  
 REAR: 25 FT  
 SIDE: 30 FT

**SITE NOTES:**

- THIS SITE PLAN SUBMITTED TO THE BOARD OF AERONAUTICS OVERVIEW OF THE PROJECT, REFERS TO DETAIL PLAN SHEETS FOR ADDITIONAL INFORMATION.
- TO A POINT PERPENDICULAR TO THE PROPERTY LINE.
- SURVEYED ON THE BASIS OF THE SURVEY DATED 04/27/2021.

**SITE PLAN LEGEND:**

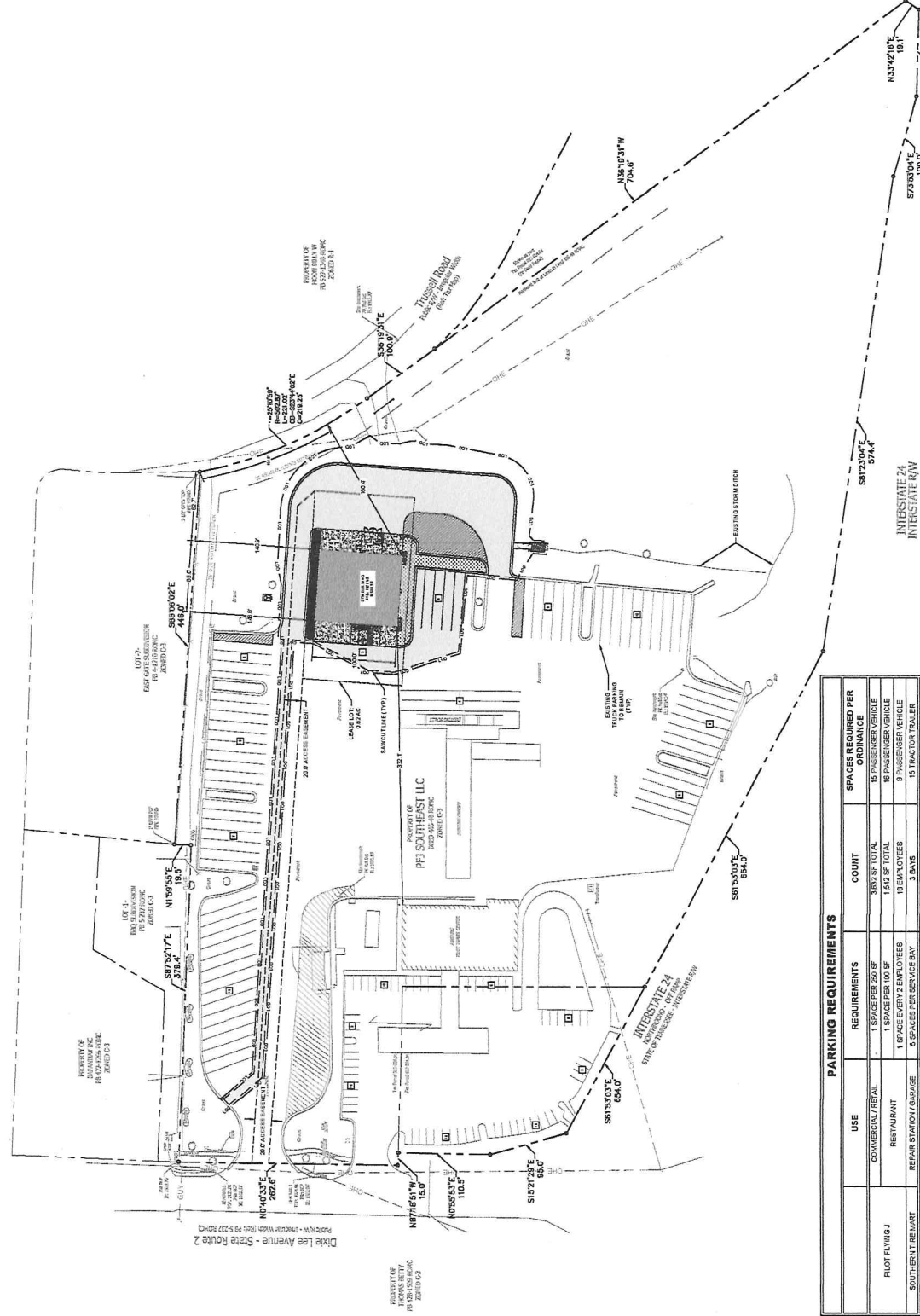
- PROPERTY LINE
- BUILDING SETBACK LINE
- SETBACK LIMITS
- LIMITS OF DISTURBANCE
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SUBWALK
- HEAVY DUTY CONCRETE PAVEMENT
- GRASS LANDSCAPE
- GRAVEL MULCH
- BIOPOR STONE
- PROPOSED PARKING COUNT

**LANDSCAPING GUARANTEE**  
 (I) WE HEREBY GUARANTEE TO THE TOWN OF MONTAGLE THAT THIS SITE PLAN AND THE LANDSCAPING DESIGNATION HAS BEEN MAINTAINED AFTER THE FINAL CERTIFICATE OF OCCUPANCY IS ISSUED. ALL PLANTS AND MATERIALS WILL BE REPLACED IN THE NEXT APPROPRIATE PLANTING SEASON WITH EQUIVALENT MATERIAL IF THIS PROPERTY IS SOLD. THIS GUARANTEE WILL BECOME THE RESPONSIBILITY OF THE NEW OWNER(S).

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

**CERTIFICATION OF ZONING COMPLIANCE**  
 I, THE SECRETARY OF THE MONTAGLE REGIONAL PLANNING COMMISSION, HAVE REVIEWED THE SITE PLAN AND THE LANDSCAPING DESIGNATION AND AM SURE THAT THE PROPOSED DEVELOPMENT IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THE MONTAGLE ZONING ORDINANCE AND WAS APPROVED BY THE MONTAGLE REGIONAL PLANNING COMMISSION ON THE DATE INDICATED.

SECRETARY, MONTAGLE REGIONAL PLANNING COMMISSION  
 DATE: \_\_\_\_\_



**PARKING REQUIREMENTS**

USE	REQUIREMENTS	COUNT	SPACES REQUIRED PER ORDINANCE
PILOT FLYING J	COMMERCIAL/RETAIL	3,893 SF TOTAL	15 PASSENGER VEHICLE
	RESTAURANT	1,242 SF TOTAL	15 PASSENGER VEHICLE
SOUTHERN TIRE MART	REPAIR STATION/GARAGE	18 EMPLOYEES	15 PASSENGER VEHICLE
		3 SPACES PER SERVICE BAY	45 PASSENGER VEHICLE
		3 BAYS	40 PASSENGER VEHICLE
			15 TRACTOR TRAILER
<b>TOTAL</b>			

**PARKING PROVIDED**

SPACES REQUIRED PER ORDINANCE	SPACES PROVIDED	DIFFERENCE
40 PASSENGER VEHICLE	50 PASSENGER VEHICLE SPACES ON SITE	10 SPACES SURPLUS
15 TRACTOR TRAILER TOTAL	25 TRACTOR TRAILER SPACES ON SITE	10 SPACES SURPLUS
	2 BAY/LOT ADJACENT PASSENGER VEHICLE	3 SPACES SURPLUS
40 PASSENGER VEHICLE	61 PASSENGER VEHICLE	21 PASSENGER VEHICLE SPACES SURPLUS
15 TRACTOR TRAILER	75 TRACTOR TRAILER	60 TRACTOR TRAILER SPACES SURPLUS

**PRELIMINARY: NOT FOR CONSTRUCTION**

This document is prepared for the purpose of providing information and is not intended to be used for any other purpose. It is the responsibility of the user to verify the accuracy of the information provided. The user shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.



NO.	REVISION	DATE
1	CONDITIONAL APPROVAL	7/16/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		



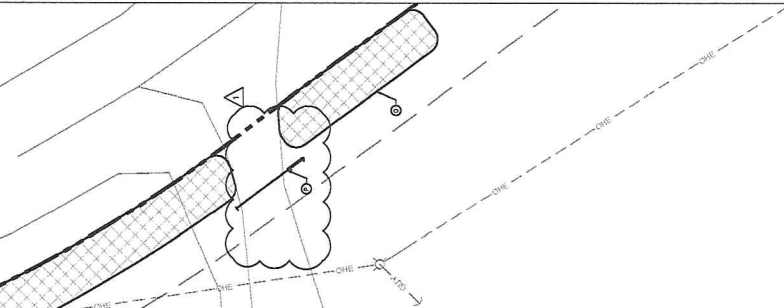
TITLE	DETAILED SITE PLAN
PROJECT NO.	11530009
DATE	07/16/2021
DESIGNED BY	JLT
CHECKED BY	JLT
PROJECTED BY	CW

- SITE KEYNOTE LEGEND:**
- ① TIE TO EXISTING CONTRACTOR TO MATCH EXISTING GRADE AND ALIGNMENT
  - ② 8" RIB CURB AND GUTTER ADJACENT TO ASPHALT PAVEMENT (TYP)
  - ③ TYPE "B" CURB AND GUTTER ADJACENT TO CONCRETE PAVEMENT (TYP)
  - ④ PARKING LOT STRIPING, 4" SOLID YELLOW STRIPE
  - ⑤ ACCESSIBLE ADA PARKING STALL WITH ACCESSIBLE PARKING SYMBOL AND SIGN
  - ⑥ PROPOSED CONCRETE WHEEL STOP
  - ⑦ PROPOSED 8" FENCE REFER TO CONSTRUCTION DETAILS
  - ⑧ 6" PIPE PILLARS REFER TO CONSTRUCTION DETAILS
  - ⑨ ROCK MULCH REFER TO CONSTRUCTION DETAILS
  - ⑩ OIL WATER SEPARATOR
  - ⑪ CONCRETE FULCRUM (8" WIDE U.H. 0.1)
  - ⑫ RIP RAP
  - ⑬ PROPOSED TRANSFORMER AND ENCLOSURE
  - ⑭ DUMPSTER
  - ⑮ LANDSCAPE BUFFER REFER TO L1-00
  - ⑯ ACCESS GATE (REFER TO L1-50, DETAIL B)

**GENERAL NOTES:**

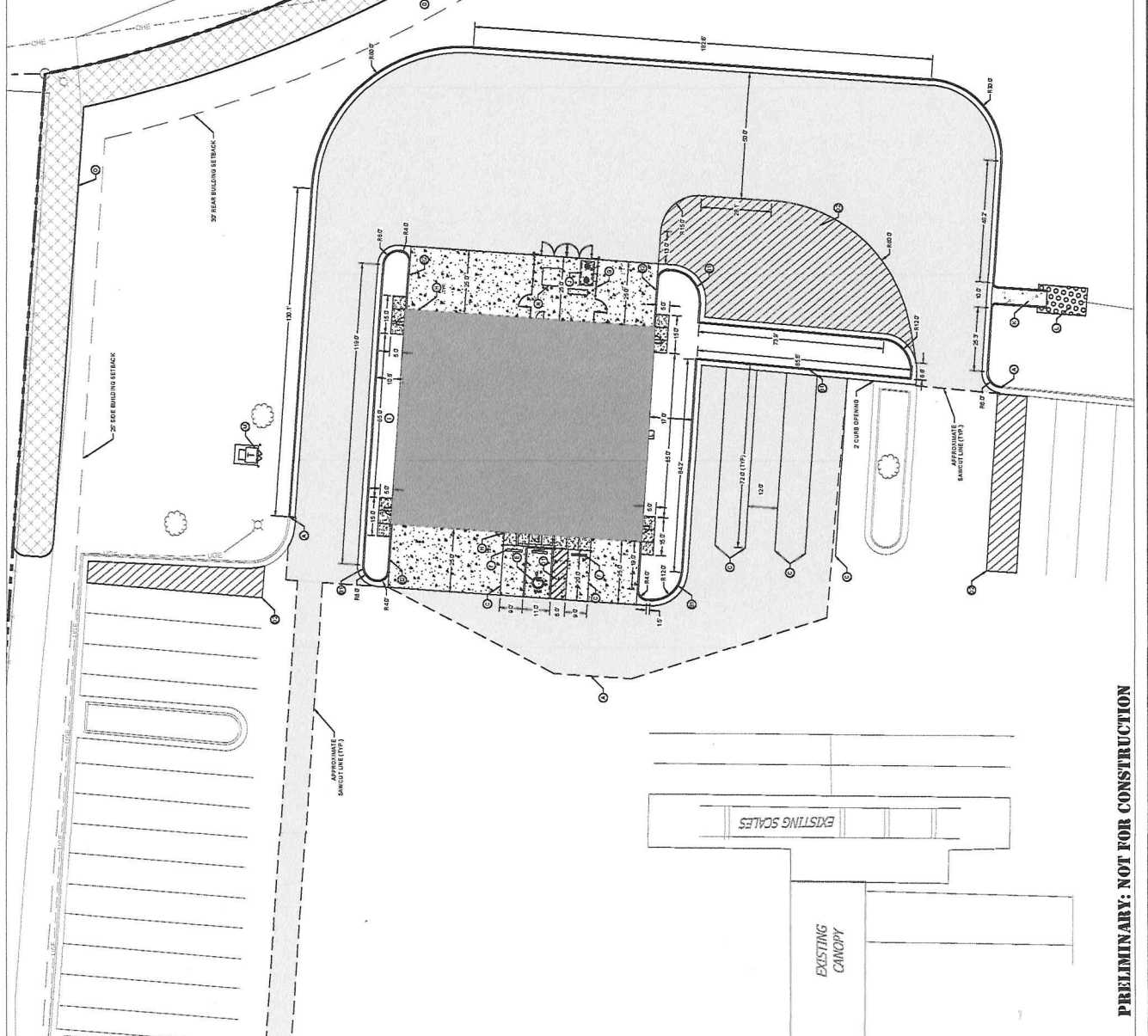
1. ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
2. CONTRACTOR MUST SECURE ALL NECESSARY PERMITS. ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DIMINISHED DURING THE PREPARATION OF THESE PLANS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS, SPECIFIC PERMITS, AND CLIENT FOR VARIATION FROM THE ORIGINAL DESIGN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
4. IF ANY CONFLICTS, DISCREPANCIES OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER THE CONTRACTOR OR THE ENGINEER MUST NOTIFY THE OTHER IMMEDIATELY AND SHALL NOT PROCEED FURTHER UNTIL THE OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
6. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY'S LATEST CONSTRUCTION SPECIFICATIONS TO MEET ALL FEDERAL, STATE, AND LOCAL CODES.
7. ALL ACCESSIBLE SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE, AND LOCAL CODES.
8. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT THE SITE IS AVAILABLE FOR RE-ENTRY AT ANY TIME.
9. BENCHMARKS, REFERENCE POINTS AND STAKES OF CONSTRUCTION SHALL CAREFULLY PRESERVE.
10. ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING CONSTRUCTION.
11. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT THE SITE IS AVAILABLE FOR RE-ENTRY AT ANY TIME.
12. DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
13. CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION SHALL BE INDICATED BY DASHED LINES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY.
14. WITH STATE AND LOCAL GOVERNMENT AGENCY.
15. STAFF SHALL FOLLOW THE RECOMMENDATIONS OF THE ENGINEER.
16. ALL PARKING STALLS SHALL BE 4" SOLID WHITE PAVEMENT MARKING EXCEPT ACCESSIBLE PARKING STALLS, WHICH SHALL BE 4" SOLID YELLOW PAVEMENT MARKING.
17. ALL PASSENGER VEHICLE PARKING STALLS ARE 7' WIDE UNLESS OTHERWISE NOTED.
18. PROPOSED SITE IMPROVEMENTS AN ELECTRONIC CAD FILE SHALL BE PROVIDED TO THE CLIENT UPON RECEIPT OF A SIGNED CAD RELEASE FORM THAT THE PUBLIC RIGHT-OF-WAYS IS CONSIDERED A PUBLIC IMPROVEMENT.

- SITE PLAN LEGEND:**
- PROPERTY LINE
  - BUILDING SETBACK LINE
  - SAWTOOTH LIMITS
  - HEAVY DUTY ASPHALT PAVEMENT
  - CONCRETE SIDEWALK
  - HEAVY DUTY CONCRETE PAVEMENT
  - PROPOSED PARKING COUNT



**811**  
 Know what's below.  
 Call before you dig.

GRAPHIC SCALE IN FEET  
 0 10 20 40



**GRADING & DRAINAGE NOTES:**

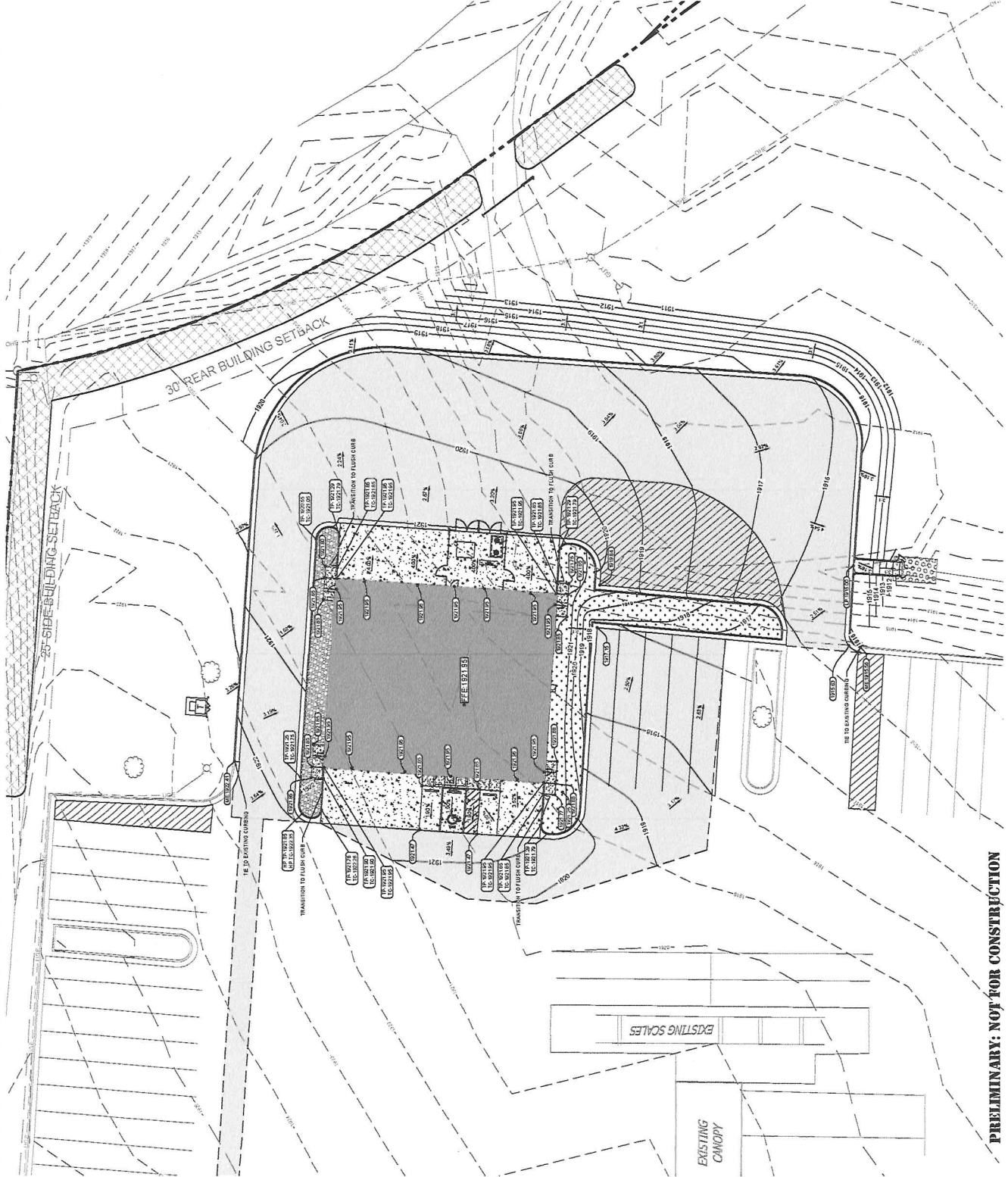
1. CRITICAL SPOT GRADES ARE TO PREVENT GRADE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND DRIVEWAYS WITH A 2% MINIMUM CROSS SLOPE AND A 5% MINIMUM SIDEWALK SLOPE. ALL SURFACES SHALL BE FINISHED WITH AN APPROPRIATE PAVING MATERIAL TO ACHIEVE A MAXIMUM SLOPE IN ANY DIRECTION.
3. THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE. CONTRACTOR SHALL VERIFY THIS INFORMATION WITH THE FLOOD HAZARD MAP (FEMA 770) DATED 02/04/2009.
4. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES TO DETERMINE THE LOCATION AND DEPTH TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITY COMPANIES TO HAVE SIGNALS LOCATED WHERE NECESSARY OR ADAPTED FOR THEM.
5. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
6. NO GRADED SLOPE SHALL EXCEED 3:1V.

**GRADING PLAN LEGEND**

- SPOT ELEVATION
- HIGH POINT
- TOP OF CURB
- TOP OF DRIVE
- TOP OF CURB AT WALL
- INVERT OF DRAINAGE STRUCTURE
- INVERT OF MANHOLE COVER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPERTY LINE
- BUILDING OVERHANG / CANOPY
- PROPOSED SANICUT LINE

**STORMWATER**

EXISTING DRAINAGE ACROSS THE SITE TRAILS FROM THE HIGH POINT ALONG DRIE LEE AVENUE AND MOVES SOUTHEAST ACROSS THE SIDEWALK TO THE DRIVEWAY. THE DRIVEWAY FLURES INTO THE PROPERTY. THIS WATER THEN MAKES ITS WAY TO THE EVENTUALLY THE TENNESSEE RIVER. DRAINAGE FROM THIS DEVELOPMENT WILL ALLOW THE SIDEWALK WATER TO MOVE AND ENTER THE EXISTING DRAINAGE WAY ON SITE.



Kimley-Horn & Associates, Inc.  
 1600 N. W. 34th St.  
 Ft. Lauderdale, FL 33309  
 Phone: (954) 422-2200  
 Fax: (954) 422-2201  
 www.kimley-horn.com

TRAVEL CENTER  
 REALTY, LLC

NO.	DATE	DESCRIPTION
1	7/16/2021	CONDITIONAL APPROVAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

MONTEAGLE SOUTHERN  
 FLYING J  
 TIRE MART at PILOT  
 640 DIXIE LEE AVE, MONTEAGLE, TN 37056

DATE BY: JLT  
 DESIGNED BY: JLT  
 CHECKED BY: CWV  
 DATE: 07/16/2021  
 PROJECT: 121500049

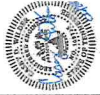
DETAILED  
 GRADING AND  
 DRAINAGE  
 PLAN  
 SHEET NUMBER  
**C3-00**

**811**  
 Know what's below.  
 Call before you dig.

**PRELIMINARY: NOT FOR CONSTRUCTION**

Drawing name: K:\W\K\_L05100000000 - TL-TRAVEL CENTER REALTY, LLC - MONTEAGLE TN\CAD\Projects\C3-00 DETAILED GRADING AND DRAINAGE PLAN.dwg C3-00 DETAILED GRADING AND DRAINAGE PLAN  
 Date: 07/16/2021 11:27am By: Tim Bryant

1	CONDITIONAL APPROVAL	7/16/2021	CC



DESIGNED BY	JAL
EXAMINED BY	JAL
REVIEWED BY	CV
DATE	07/16/2021
PROJECT NO.	115000000
TITLE	

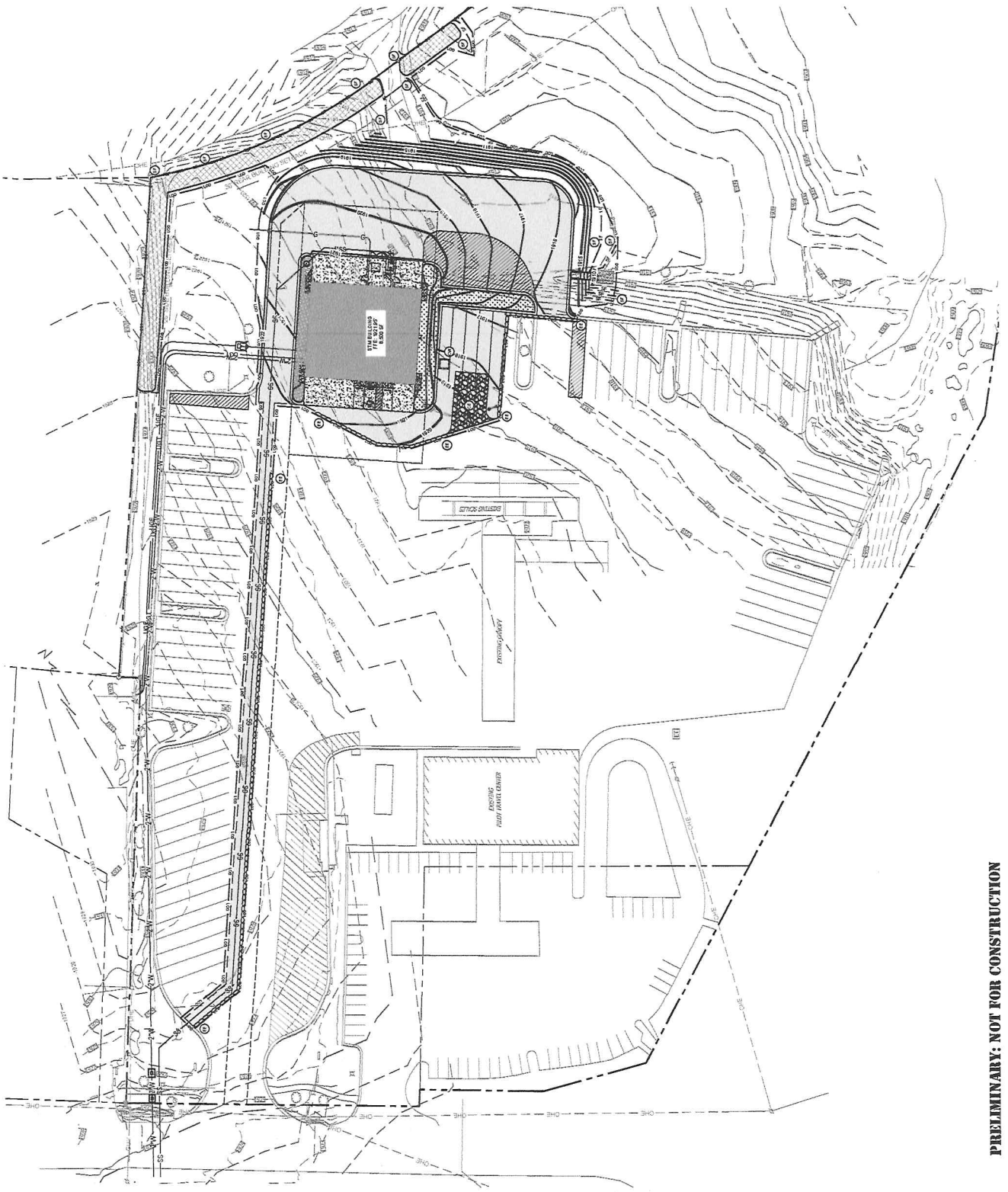
**EROSION CONTROL LEGEND:**

- CONSTRUCTION EIT
- EST FENCE
- CONCRETE WALL/OUT AREA
- EROSION EELS
- CONSTRUCTION SIGN
- PROPERTY BOUNDARY
- UR
- SMOOTHLINE

- EROSION CONTROL NOTES:**
1. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  9. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  11. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  12. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  13. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  14. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  15. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  16. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  17. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  18. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  19. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  20. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  21. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  22. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  23. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  24. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  25. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  26. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.

- CONSTRUCTION SEQUENCING:**
1. INSTALL STABILIZED CONSTRUCTION EIT AND CONCRETE WALL/OUT AREA.
  2. INSTALL STABILIZED CONSTRUCTION EIT AND CONCRETE WALL/OUT AREA.
  3. INSTALL STABILIZED CONSTRUCTION EIT AND CONCRETE WALL/OUT AREA.
  4. INSTALL STABILIZED CONSTRUCTION EIT AND CONCRETE WALL/OUT AREA.
  5. INSTALL STABILIZED CONSTRUCTION EIT AND CONCRETE WALL/OUT AREA.
  6. INSTALL STABILIZED CONSTRUCTION EIT AND CONCRETE WALL/OUT AREA.
  7. INSTALL STABILIZED CONSTRUCTION EIT AND CONCRETE WALL/OUT AREA.
  8. INSTALL STABILIZED CONSTRUCTION EIT AND CONCRETE WALL/OUT AREA.
  9. INSTALL STABILIZED CONSTRUCTION EIT AND CONCRETE WALL/OUT AREA.

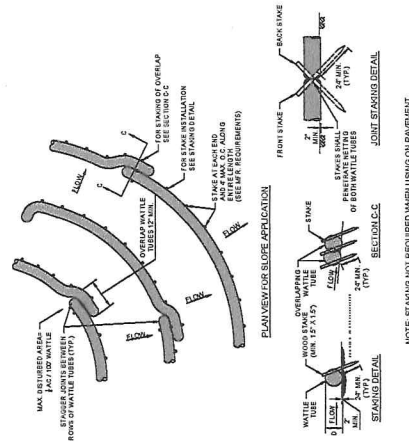
**811**  
 Know what's below.  
 Call before you dig.



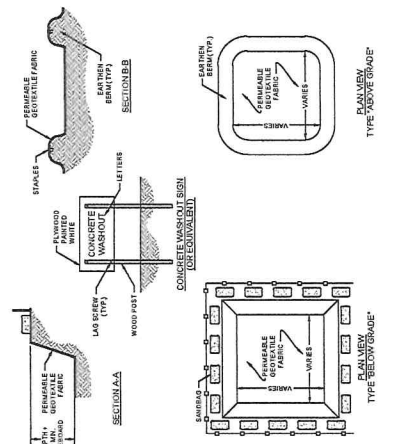
NO.	DATE	DESCRIPTION
1	7/16/2021	CONDITIONAL APPROVAL



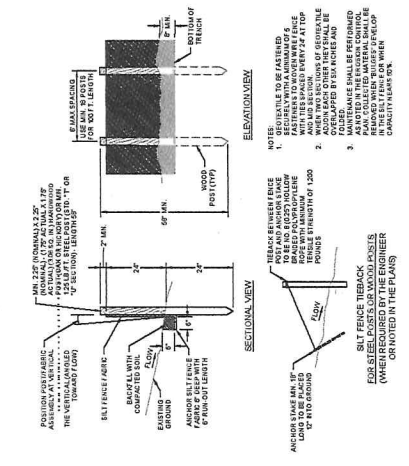
DESIGNED BY	JLT
REVIEWED BY	JLT
DATE	07/16/2021
PROJECT NO.	115800003
TITLE	



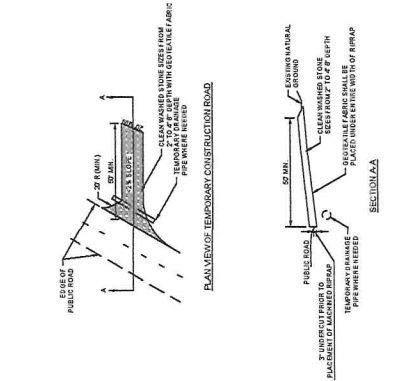
**2 EROSION FEELS**  
 NOT TO SCALE



**4 CONCRETE WASHOUT AREA**  
 NOT TO SCALE



**1 SILT FENCE**  
 NOT TO SCALE

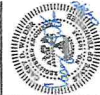


**3 CONSTRUCTION EXIT**  
 NOT TO SCALE

**PRELIMINARY: NOT FOR CONSTRUCTION**

DATE	7/15/2021	CC
REVISION		
1	CONDITIONAL APPROVAL	
2	ISSUE AND REVISIONS	

**MONTAGLE SOUTHERN  
 FLYING J**  
 640 DIXIE LEE AVE. NORTLEIGH, TN 37356



DATE: 07/16/2021  
 DESIGNED BY: J.L. TAYLOR  
 CHECKED BY: C.W. [unreadable]  
 PROJECT NO.: 155860000  
 TITLE: UTILITY PLAN

**UTILITY PLAN**  
 SHEET NUMBER: **C5-00**

- UTILITY NOTES:**
1. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  2. CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES AGENCIES AND OBTAIN NECESSARY PERMITS PRIOR TO CONSTRUCTION.
  3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION OVER THE UTILITIES AND SPECIFICATIONS.
  4. ALL PIPE MATERIALS SPECIFIED IN THESE PLANS ARE THE STANDARD MATERIALS FOR THE TYPE OF PIPE AND SIZE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.
  5. UTILITIES SHALL BE CONSTRUCTED TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
  6. UTILITIES SHALL BE CONSTRUCTED TO DEPTH AS SPECIFIED IN THESE PLANS. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF CLEARANCE FROM ALL EXISTING AND PROPOSED FOUNDATIONS, WALLS, AND OTHER STRUCTURES.
  7. ALL ON-SITE UTILITIES SHALL BE LOCATED UNDERGROUND.
  8. CONTRACTOR SHALL VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

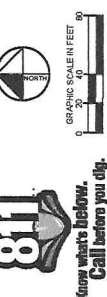
9. CONTRACTOR SHALL COORDINATE WITH THE TOWN ENGINEER FOR THE INSTALLATION OF WATER METERS.
10. CONTRACTOR SHALL REFERENCE BUILDING PLANS FOR UTILITY CONNECTIONS INSIDE BUILDINGS.
11. ALL FITTINGS AND BONDS ON ALL WATER LINES AND SANITARY LINES SHALL BE RESTRAINED WITH THURST RESTRAINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
12. TOWN OF MONTAGLE SHALL HAVE INDISPUTABLE RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE INSTALLATION AND MAINTENANCE OF SANITARY LINES AND WATER LINES. CONTRACTOR SHALL MAINTAINANCE OF SAID PRIVATE DRIVES AND YARDS.
13. SANITARY SEWER PIPES SHALL BE 500-36 PVC.
14. WATER PIPES SHALL BE C-900 PVC.
15. CONTRACTOR SHALL COORDINATE WITH THE TOWN ENGINEER FOR THE INSTALLATION OF WATER METERS.
16. CONTRACTOR SHALL REFERENCE BUILDING PLANS FOR UTILITY CONNECTIONS INSIDE BUILDINGS.
17. ALL FITTINGS AND BONDS ON ALL WATER LINES AND SANITARY LINES SHALL BE RESTRAINED WITH THURST RESTRAINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
18. TOWN OF MONTAGLE SHALL HAVE INDISPUTABLE RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE INSTALLATION AND MAINTENANCE OF SANITARY LINES AND WATER LINES. CONTRACTOR SHALL MAINTAINANCE OF SAID PRIVATE DRIVES AND YARDS.
19. SANITARY SEWER PIPES SHALL BE 500-36 PVC.
20. WATER PIPES SHALL BE C-900 PVC.

**UTILITY LEGEND:**

—	PROPOSED 2" DOMESTIC WATER LINE
—	PROPOSED ELECTRIC LINE
—	PROPOSED TELEPHONE LINE
—	PROPOSED NATURAL GAS LINE
—	PROPOSED 4" SANITARY SEWER PIPE
—	PROPOSED 6" SANITARY SEWER PIPE
—	PROPOSED 8" SANITARY SEWER PIPE
—	PROPOSED 12" SANITARY SEWER PIPE
—	PROPOSED 18" SANITARY SEWER PIPE
—	PROPOSED 24" SANITARY SEWER PIPE
—	PROPOSED 30" SANITARY SEWER PIPE
—	PROPOSED 36" SANITARY SEWER PIPE
—	PROPOSED 42" SANITARY SEWER PIPE
—	PROPOSED 48" SANITARY SEWER PIPE
—	PROPOSED 54" SANITARY SEWER PIPE
—	PROPOSED 60" SANITARY SEWER PIPE
—	PROPOSED 66" SANITARY SEWER PIPE
—	PROPOSED 72" SANITARY SEWER PIPE
—	PROPOSED 78" SANITARY SEWER PIPE
—	PROPOSED 84" SANITARY SEWER PIPE
—	PROPOSED 90" SANITARY SEWER PIPE
—	PROPOSED 96" SANITARY SEWER PIPE
—	PROPOSED 102" SANITARY SEWER PIPE
—	PROPOSED 108" SANITARY SEWER PIPE
—	PROPOSED 114" SANITARY SEWER PIPE
—	PROPOSED 120" SANITARY SEWER PIPE
—	PROPOSED 126" SANITARY SEWER PIPE
—	PROPOSED 132" SANITARY SEWER PIPE
—	PROPOSED 138" SANITARY SEWER PIPE
—	PROPOSED 144" SANITARY SEWER PIPE
—	PROPOSED 150" SANITARY SEWER PIPE
—	PROPOSED 156" SANITARY SEWER PIPE
—	PROPOSED 162" SANITARY SEWER PIPE
—	PROPOSED 168" SANITARY SEWER PIPE
—	PROPOSED 174" SANITARY SEWER PIPE
—	PROPOSED 180" SANITARY SEWER PIPE
—	PROPOSED 186" SANITARY SEWER PIPE
—	PROPOSED 192" SANITARY SEWER PIPE
—	PROPOSED 198" SANITARY SEWER PIPE
—	PROPOSED 204" SANITARY SEWER PIPE
—	PROPOSED 210" SANITARY SEWER PIPE
—	PROPOSED 216" SANITARY SEWER PIPE
—	PROPOSED 222" SANITARY SEWER PIPE
—	PROPOSED 228" SANITARY SEWER PIPE
—	PROPOSED 234" SANITARY SEWER PIPE
—	PROPOSED 240" SANITARY SEWER PIPE
—	PROPOSED 246" SANITARY SEWER PIPE
—	PROPOSED 252" SANITARY SEWER PIPE
—	PROPOSED 258" SANITARY SEWER PIPE
—	PROPOSED 264" SANITARY SEWER PIPE
—	PROPOSED 270" SANITARY SEWER PIPE
—	PROPOSED 276" SANITARY SEWER PIPE
—	PROPOSED 282" SANITARY SEWER PIPE
—	PROPOSED 288" SANITARY SEWER PIPE
—	PROPOSED 294" SANITARY SEWER PIPE
—	PROPOSED 300" SANITARY SEWER PIPE

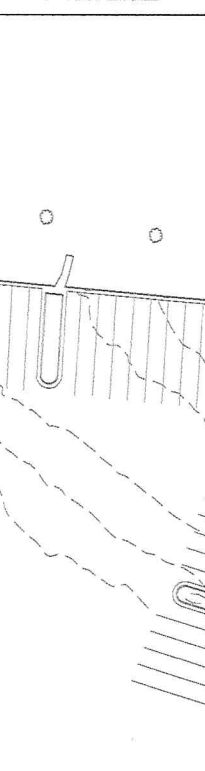
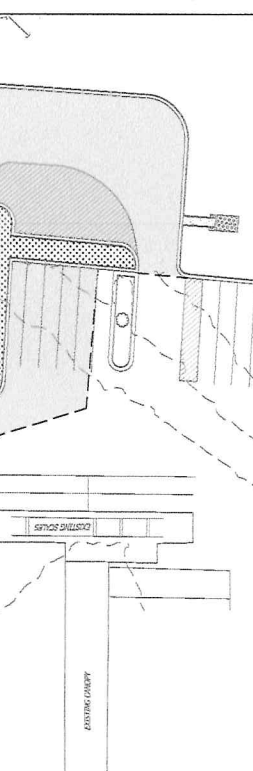
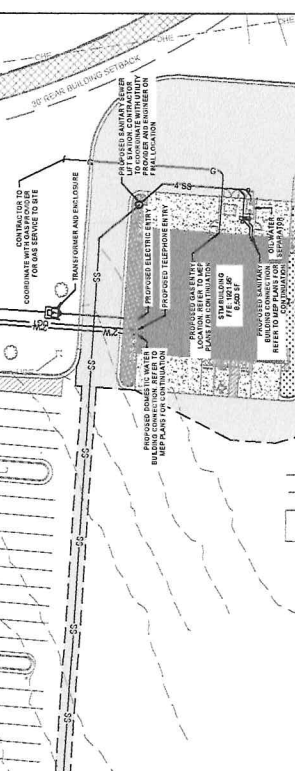
- FRANCHISE UTILITY NOTES**
1. THE OWNER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES AGENCIES AND OBTAIN NECESSARY PERMITS PRIOR TO CONSTRUCTION.
  3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION OVER THE UTILITIES AND SPECIFICATIONS.
  4. ALL PIPE MATERIALS SPECIFIED IN THESE PLANS ARE THE STANDARD MATERIALS FOR THE TYPE OF PIPE AND SIZE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.
  5. UTILITIES SHALL BE CONSTRUCTED TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
  6. UTILITIES SHALL BE CONSTRUCTED TO DEPTH AS SPECIFIED IN THESE PLANS. ALL UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF CLEARANCE FROM ALL EXISTING AND PROPOSED FOUNDATIONS, WALLS, AND OTHER STRUCTURES.
  7. ALL ON-SITE UTILITIES SHALL BE LOCATED UNDERGROUND.
  8. CONTRACTOR SHALL VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.

**811**  
 Know what's Below.  
 Call before you dig.



- GENERAL UTILITY NOTES**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR WATER AND SEWER SYSTEMS.
  2. SHOULD ANY UNCHARTERED OR INDIRECTLY CHARTERED UTILITIES BE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY FOR DIRECTION.
  3. CONTRACTOR SHALL COORDINATE ANY INTERRUPTION OF UTILITY SERVICE WITH OWNER AND OBTAIN NECESSARY PERMITS PRIOR TO CONSTRUCTION.
  4. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 18" OF CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITIES AND ALL FOUNDATIONS, WALLS, AND OTHER STRUCTURES. CONTRACTOR SHALL PROTECT IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
  5. ANY PLANNED INTERRUPTION OF UTILITY SERVICE SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR WATER AND SEWER SYSTEMS.
  6. CONTRACTOR SHALL SAWCUT, REMOVE, AND REPLACE ASPHALT PAVEMENT AS NECESSARY TO INSTALL UTILITIES. CONTRACTOR SHALL MAINTAIN THE ORIGINAL FINISH GRADE AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.
  7. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL ELECTRICAL AUTHORITY.
  8. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRICAL AND TELEPHONE SERVICE WITH APPROPRIATE LOCAL UTILITY.
  9. 18" OF CLEARANCE TO BE MAINTAINED BETWEEN SANITARY, WATER, AND ALL UTILITIES.
  10. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE UNIFORM STATEWIDE BUILDING CODE.

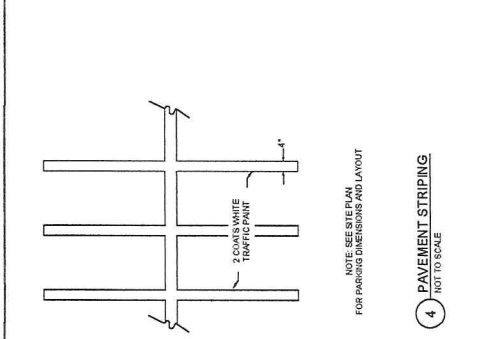
11. CONTRACTOR SHALL COORDINATE WITH THE TOWN ENGINEER FOR THE INSTALLATION OF WATER METERS.
12. CONTRACTOR SHALL REFERENCE BUILDING PLANS FOR UTILITY CONNECTIONS INSIDE BUILDINGS.
13. ALL FITTINGS AND BONDS ON ALL WATER LINES AND SANITARY LINES SHALL BE RESTRAINED WITH THURST RESTRAINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
14. TOWN OF MONTAGLE SHALL HAVE INDISPUTABLE RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE INSTALLATION AND MAINTENANCE OF SANITARY LINES AND WATER LINES. CONTRACTOR SHALL MAINTAINANCE OF SAID PRIVATE DRIVES AND YARDS.
15. SANITARY SEWER PIPES SHALL BE 500-36 PVC.
16. WATER PIPES SHALL BE C-900 PVC.
17. CONTRACTOR SHALL COORDINATE WITH THE TOWN ENGINEER FOR THE INSTALLATION OF WATER METERS.
18. CONTRACTOR SHALL REFERENCE BUILDING PLANS FOR UTILITY CONNECTIONS INSIDE BUILDINGS.
19. ALL FITTINGS AND BONDS ON ALL WATER LINES AND SANITARY LINES SHALL BE RESTRAINED WITH THURST RESTRAINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
20. TOWN OF MONTAGLE SHALL HAVE INDISPUTABLE RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE INSTALLATION AND MAINTENANCE OF SANITARY LINES AND WATER LINES. CONTRACTOR SHALL MAINTAINANCE OF SAID PRIVATE DRIVES AND YARDS.
21. SANITARY SEWER PIPES SHALL BE 500-36 PVC.
22. WATER PIPES SHALL BE C-900 PVC.



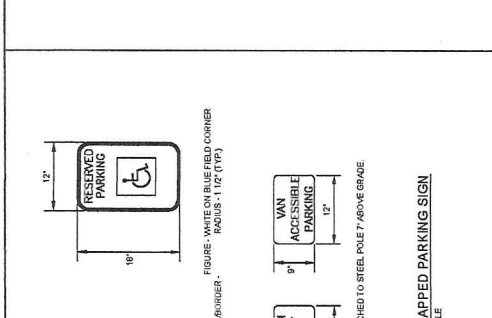
**PRELIMINARY: NOT FOR CONSTRUCTION**

NO.	DATE	DESCRIPTION
1	7/16/2021	CONDITIONAL APPROVAL
2	7/16/2021	FINAL APPROVAL

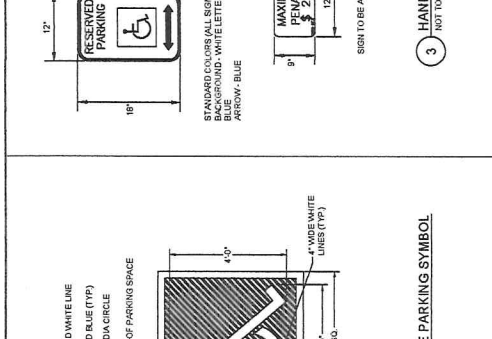
DATE BY	JLT
DESIGNED BY	JLT
CHECKED BY	CW
DATE	07/16/2021
PROJECT NO.	115100009
TITLE	



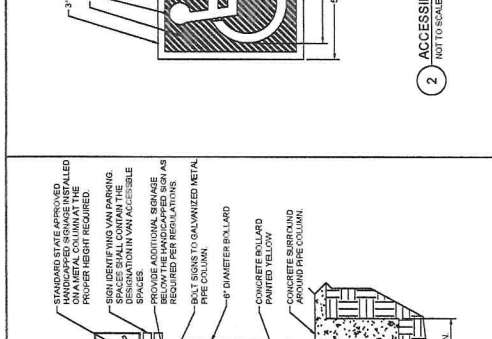
**1** HANDICAPPED PARKING SIGN  
 NOT TO SCALE



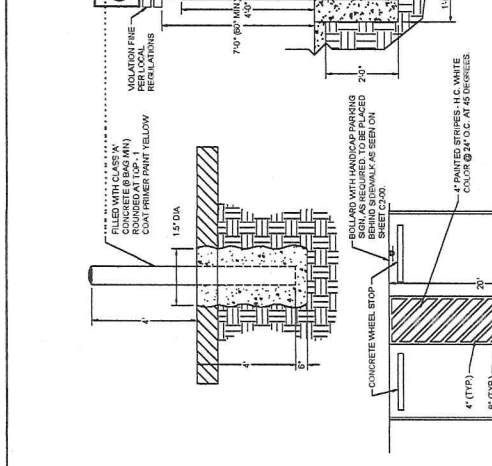
**2** ACCESSIBLE PARKING SYMBOL  
 NOT TO SCALE



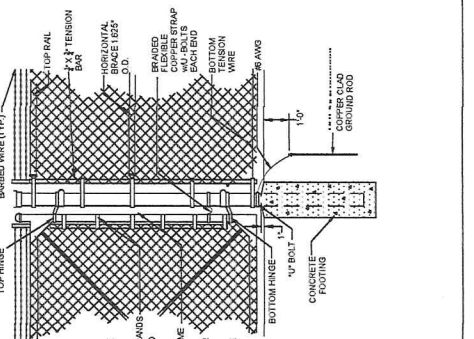
**3** HANDICAPPED PARKING SIGN  
 NOT TO SCALE



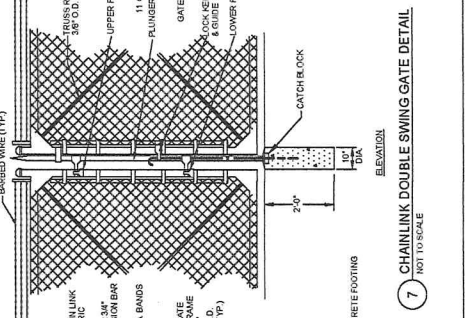
**4** PAVEMENT STRIPING  
 NOT TO SCALE



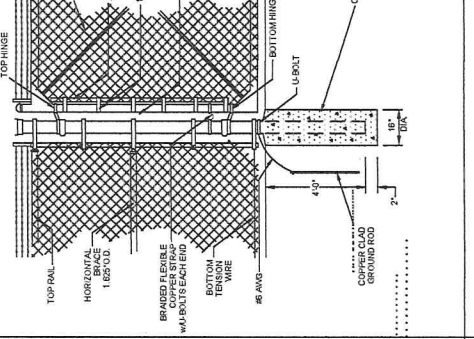
**5** ADA COMPLIANCE NOTES  
 NOT TO SCALE



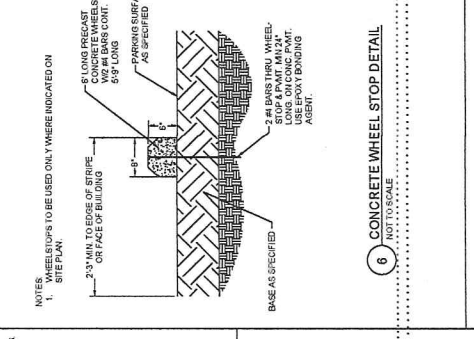
**6** CONCRETE WHEEL STOP DETAIL  
 NOT TO SCALE



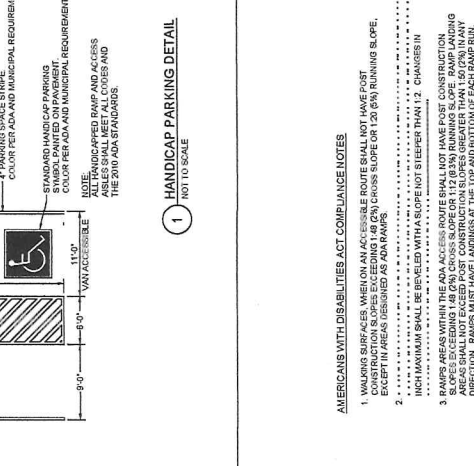
**7** CHAINLINK DOUBLE SWING GATE DETAIL  
 NOT TO SCALE



**8** CHAINLINK FENCE SINGLE GATE DETAIL  
 NOT TO SCALE



**9** CHAINLINK FENCE WITH BARBED WIRE  
 NOT TO SCALE



**10** CHAINLINK DOUBLE SWING GATE DETAIL  
 NOT TO SCALE

**NOTES**

1. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
2. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
3. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
4. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
5. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
6. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
7. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
8. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
9. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
10. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.

**NOTES**

1. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
2. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
3. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
4. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
5. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
6. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
7. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
8. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
9. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
10. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.

**NOTES**

1. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
2. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
3. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
4. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
5. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
6. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
7. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
8. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
9. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
10. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.

**NOTES**

1. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
2. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
3. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
4. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
5. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
6. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
7. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
8. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
9. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
10. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.

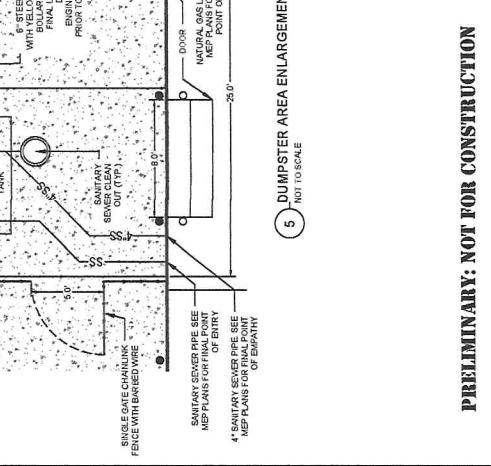
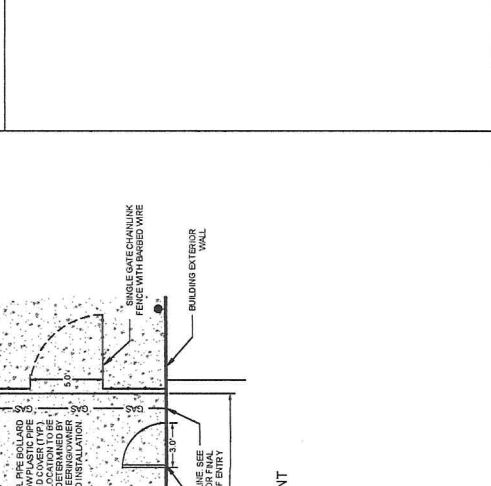
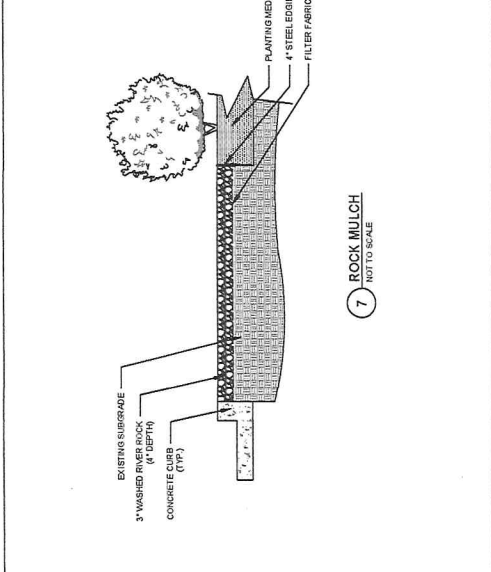
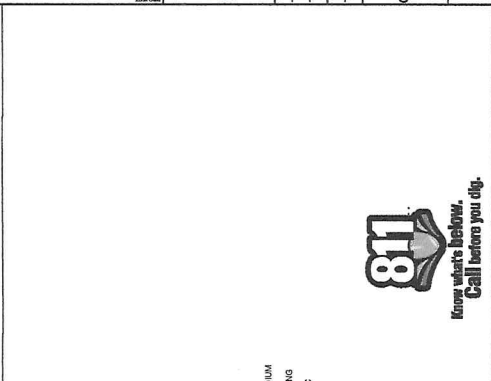
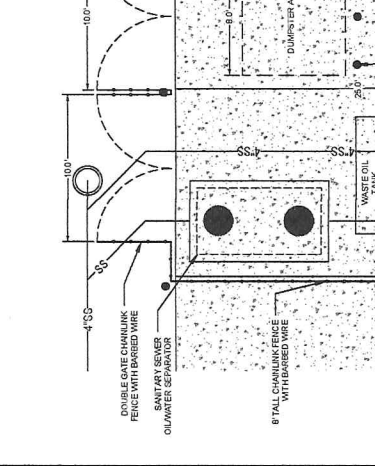
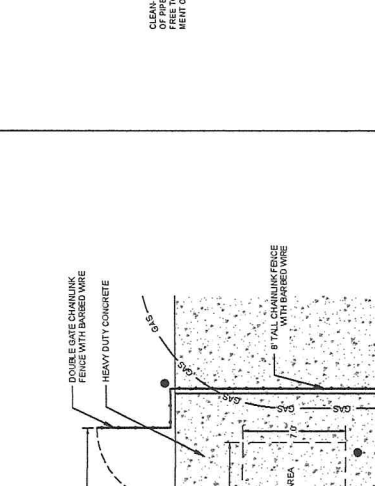
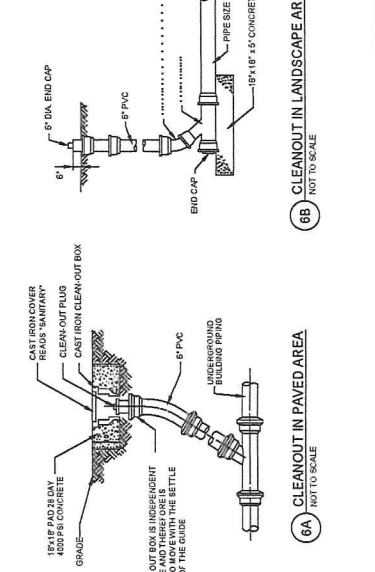
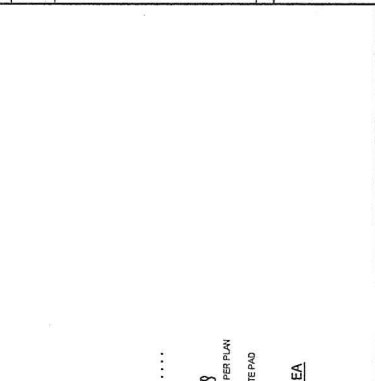
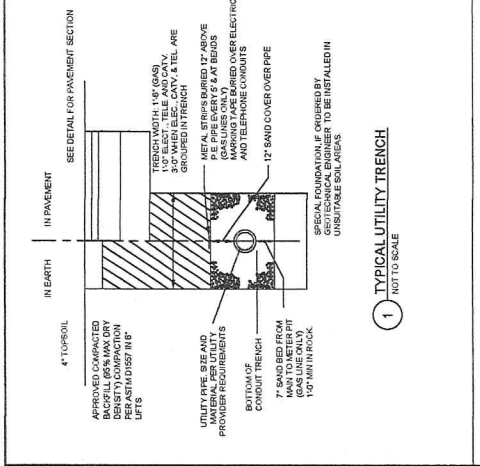
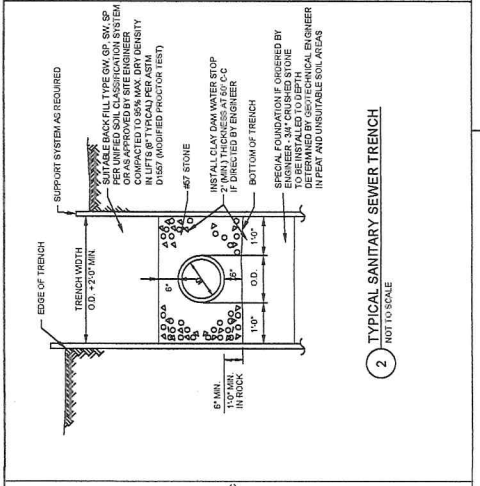
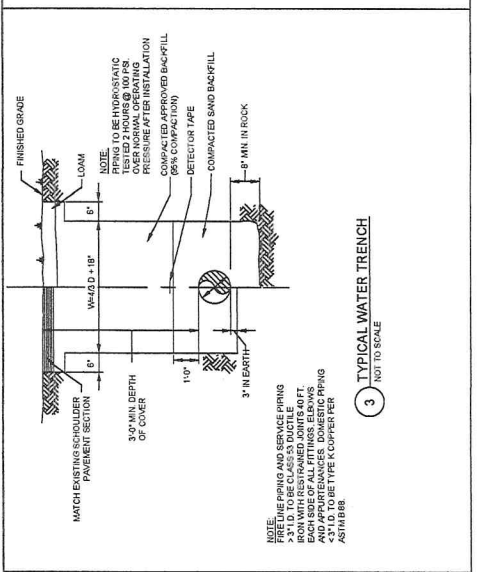
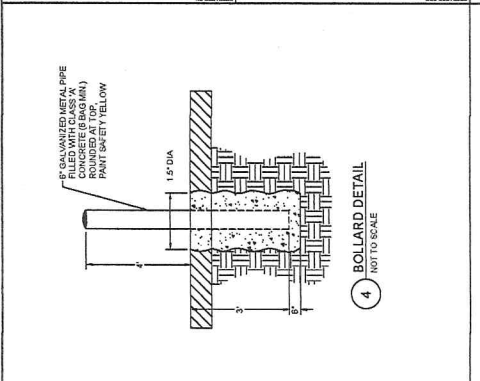
**NOTES**

1. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
2. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
3. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
4. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
5. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
6. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
7. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
8. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
9. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.
10. THE INSTALLATION OF FENCE SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION.

**PRELIMINARY - NOT FOR CONSTRUCTION**

NO.	DATE	DESCRIPTION
1	7/16/2021	CONDITIONAL APPROVAL

DESIGNED BY	JLT
CHECKED BY	JLT
DATE	07/16/2021
PROJECT NO.	115500009
TITLE	

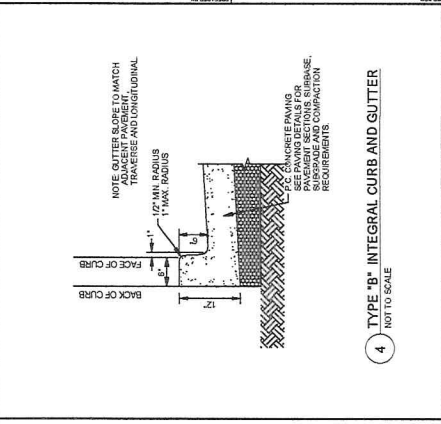


**PRELIMINARY: NOT FOR CONSTRUCTION**

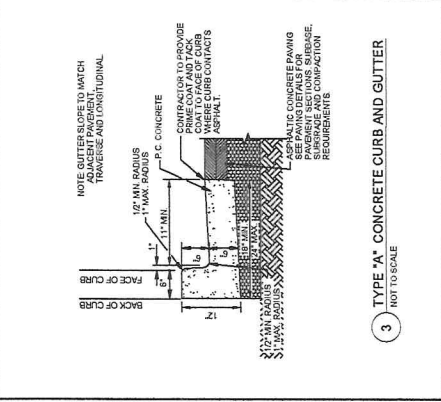
This document is prepared for the use of the client and is not to be used for any other purpose. It is the responsibility of the client to verify all information and to obtain all necessary permits. The designer shall not be held responsible for any errors or omissions in this document.

NO.	DATE	DESCRIPTION
1	7/16/2021	CONDITIONAL APPROVAL
2		
3		
4		
5		
6		
7		
8		

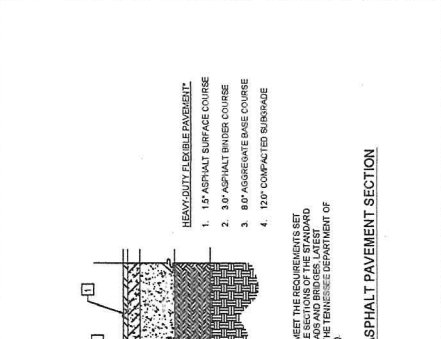
DATE	BY	REVISION
JUL	JLT	ISSUED FOR PERMIT
CIV	CIV	REVISED
07/16/2021		
PROJECT NO.	115000000	
TITLE		



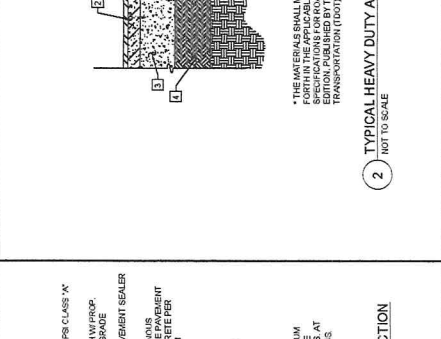
**1** TYPICAL HEAVY DUTY CONCRETE PAVEMENT SECTION  
 NOT TO SCALE



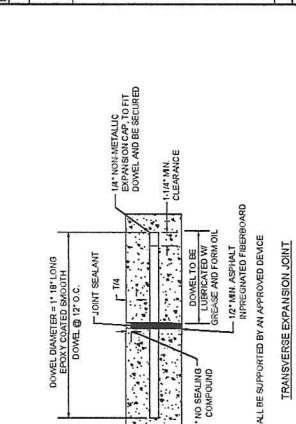
**2** TYPICAL HEAVY DUTY ASPHALT PAVEMENT SECTION  
 NOT TO SCALE



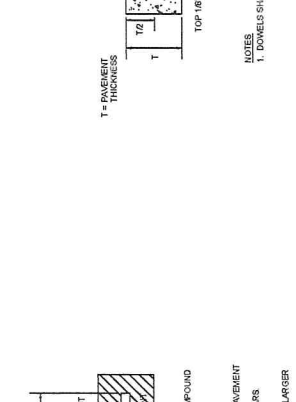
**3** TYPE 'A' CONCRETE CURB AND GUTTER  
 NOT TO SCALE



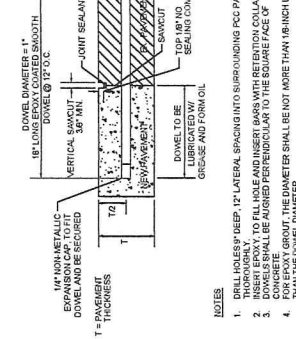
**4** TYPE 'B' INTEGRAL CURB AND GUTTER  
 NOT TO SCALE



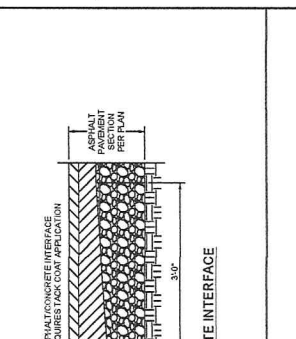
**5** ASPHALT/CONCRETE INTERFACE  
 NOT TO SCALE



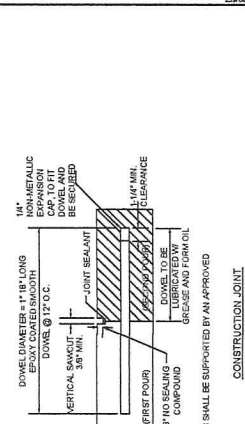
**6** CONCRETE SIDEWALK  
 NOT TO SCALE



**7** CONCRETE PAVEMENT JOINT DETAILS  
 NOT TO SCALE



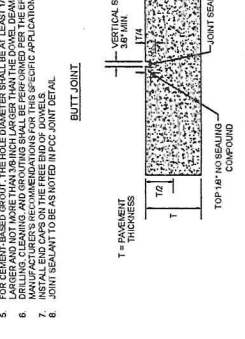
**8** TYPICAL HEAVY DUTY ASPHALT PAVEMENT SECTION  
 NOT TO SCALE



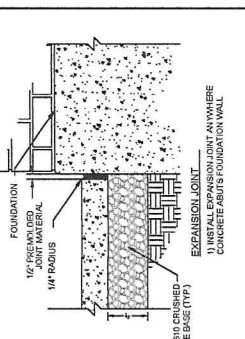
**9** TRANSVERSE EXPANSION JOINT  
 NOT TO SCALE



**10** BUTT JOINT  
 NOT TO SCALE



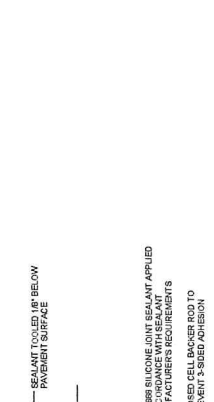
**11** CONTRACTION JOINT  
 NOT TO SCALE



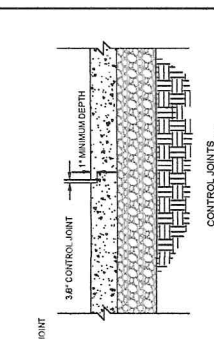
**12** EXPANSION JOINT ANYWHERE  
 NOT TO SCALE



**13** EXPANSION JOINT ANYWHERE  
 NOT TO SCALE



**14** EXPANSION JOINT ANYWHERE  
 NOT TO SCALE



**15** EXPANSION JOINT ANYWHERE  
 NOT TO SCALE



**16** EXPANSION JOINT ANYWHERE  
 NOT TO SCALE



**17** EXPANSION JOINT ANYWHERE  
 NOT TO SCALE



**18** EXPANSION JOINT ANYWHERE  
 NOT TO SCALE

**PRELIMINARY: NOT FOR CONSTRUCTION**

**811**  
 Know where's below.  
 Call before you dig.

**CONSTRUCTION  
 DETAILS**  
 SHEET NO. **C6-02**

**PRELIMINARY: NOT FOR CONSTRUCTION**

**CONSTRUCTION  
 DETAILS**  
 SHEET NO. **C6-02**

**PRELIMINARY: NOT FOR CONSTRUCTION**



NO.	DATE	DESCRIPTION
1	07/16/2021	CONTRACT APPROVAL

DATE	BY	REVISION
JUL	JLT	DESIGNED BY
JUL	JLT	REVIEWED BY
07/16/2021	CVC	DATE
07/16/2021	CVC	PROJECT NO.
11536009		TITLE

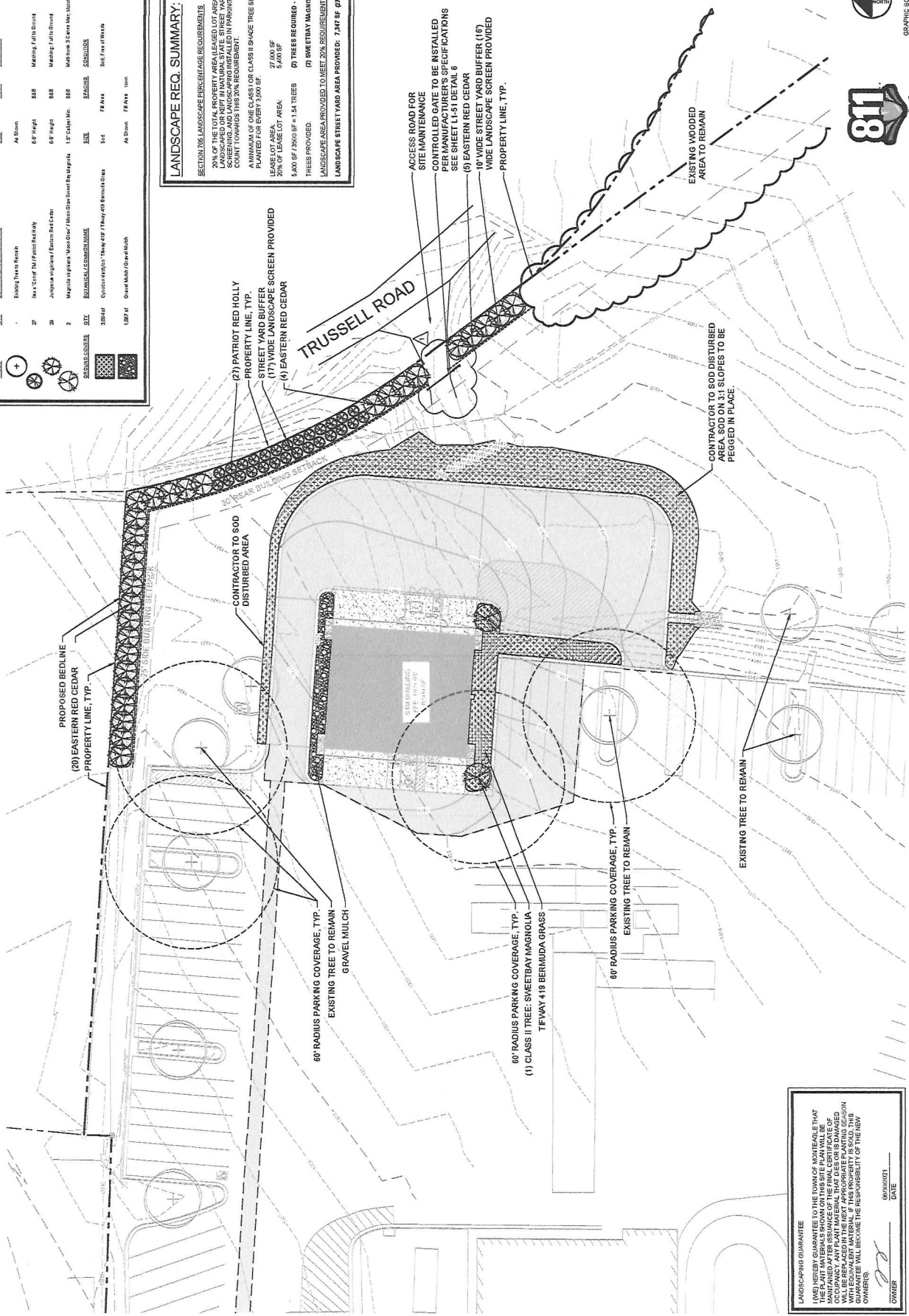
**PLANT SCHEDULE**

TREE	SIZE	RECOMMENDED PLANT	SIZE	ROOT	CONDITION
+	As Shown	Existing Trees to Remain			
○	27'	Red 'Crown' Thuja Plantation Hedge	6" Height	BBB	Matching Full Size Ground
○	29'	Japanese Vignole Plantation Hedge	6" Height	BBB	Matching Full Size Ground
○	2	Magnolia 'Merrillii' / Magnolia 'Merrillii' / Magnolia 'Merrillii'	12" Caliper Min.	BBB	Match to 3 Core Max. (Including Minimum Growth)

LANDSCAPE	SIZE	RECOMMENDED PLANT	SIZE	FRANK	CONDITION
Gravel Mulch	1000 sq ft	Gravel Mulch (10' x 10' x 2")			

**LANDSCAPE REQ. SUMMARY:**  
 SECTION 706 LANDSCAPE PERCENTAGE REQUIREMENTS  
 20% OF THE TOTAL PROPERTY AREA (LEASED LOT AREA) SHALL BE LANDSCAPED OR SET IN NATURAL STATE STREET YARDS. STREET YARDS SHALL BE CONSIDERED TOWARDS THIS 20% REQUIREMENT. IN PARKING LOTS (SWALL LEASED LOT AREA),  
 A MINIMUM OF ONE CLASS II OR CLASS III SHADE TREE SHALL BE PLANTED FOR EVERY 1,500 SF.  
 27,000 SF  
 5,400 SF / 1,500 SF = 3.6 TREES  
 (2) TREES REQUIRED - CLASS I OR II TREES PROVIDED.  
 (2) SWEETBAY MAGNOLIAS (CLASS II) LANDSCAPE ALSO PROVIDED TO MEET 20% REQUIREMENT.  
 LANDSCAPE STREET YARD AREA PROVIDED: 7,411 SF (07.2%)



**811**  
 Know what's below.  
 Call before you dig.

GRAPHIC SCALE IN FEET  
 0 10 20 30 40

**LANDSCAPING GUARANTEE**  
 I (WE) HEREBY GUARANTEE TO THE TOWN OF MONTEAGLE THAT THE PLANT MATERIALS SHOWN ON THIS SITE PLAN WILL BE OCCUPANCY. ANY PLANT MATERIAL THAT DIES OR IS DAMAGED WILL BE REPLACED IN THE NEXT APPROPRIATE PLANTING SEASON. THIS GUARANTEE WILL BECOME THE RESPONSIBILITY OF THE NEW OWNER(S).  
 OWNER: \_\_\_\_\_ DATE: 06/06/2021

**PRELIMINARY - NOT FOR CONSTRUCTION**

This document, together with the concepts and design documents herein, are an assurance of service. It is intended only for the specific purpose and use for which it was prepared. It is not to be used for any other purpose without the express written consent of Kimley-Horn and Associates, Inc. The client warrants the validity of the information provided herein.

